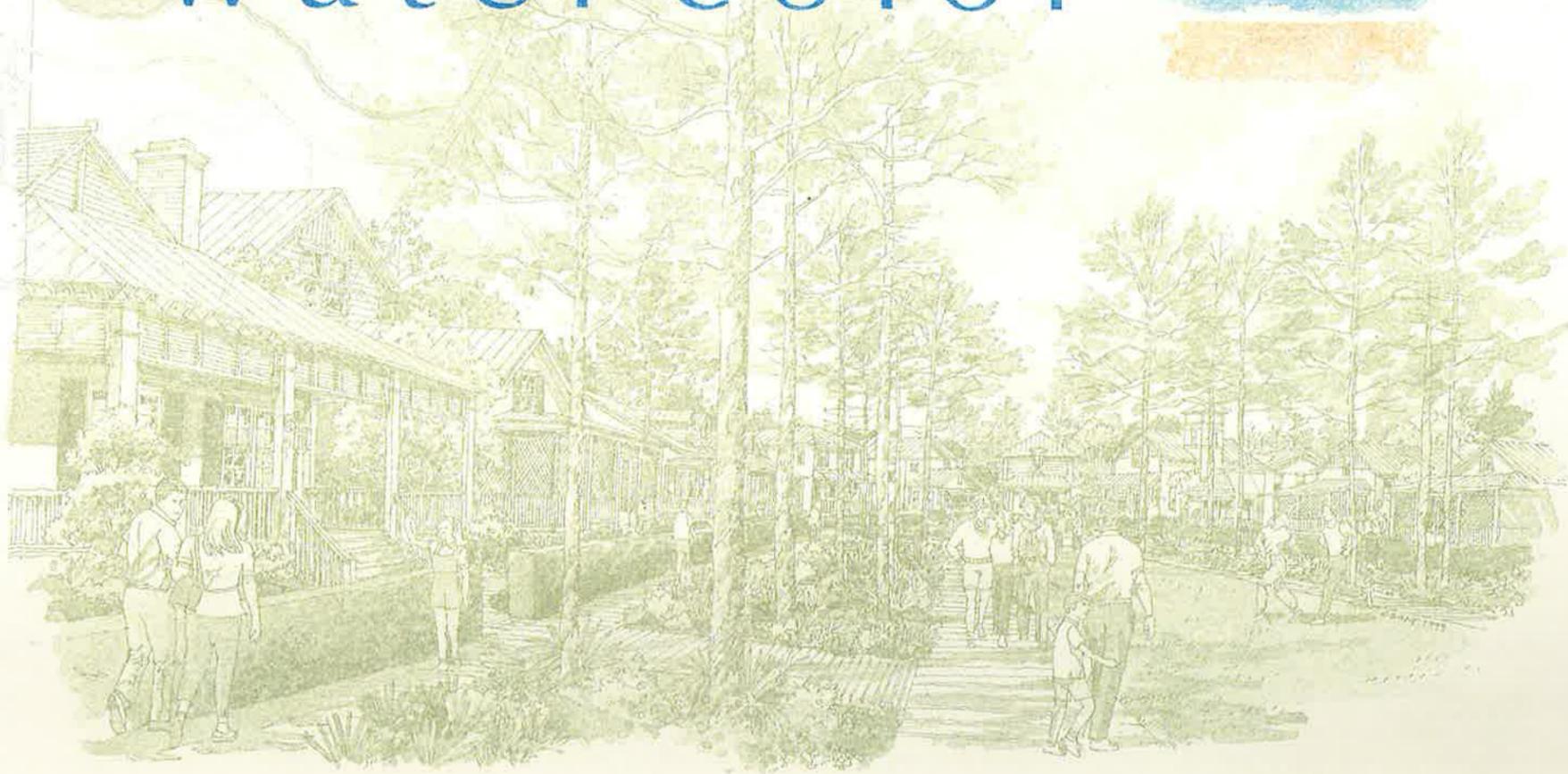


Patterns for Place Making

A Guide for the Creation of
water·color



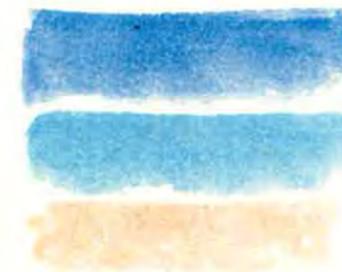
 **ARVIDA**SM
a STJOE company



PHASE ONE: FEBRUARY 2001

water·color

Walton County, Florida



Patterns for Place Making

Master Developer

ARVIDA
A St. Joe Company

Master Code Consultant

URBAN DESIGN ASSOCIATES
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LANDSCAPE ARCHITECTS
Charlottesville, Virginia

A GUIDE FOR THE CREATION OF water·color

True places occupy special positions in your mind. That's why places as different as San Francisco, Savannah and Maryland's Eastern Shore are popular destinations for so many Americans. A true place immediately conjures up unique feelings and mental images.

For those of us in the business of creating new places or revitalizing old ones, there is no greater reward than creating a place that is authentic, organic and original.

It's been said that great sculptors have the ability to unlock the image held inside a block of stone. In a sense, that's what great planners do as well. They strive to unlock the place held inside a piece of land. In doing so, they make a tremendous contribution not only to the people who will live and visit there, but to our understanding of the human condition as well.

The community of WaterColor is being built on a strong foundation of knowledge. It will embody every lesson we've learned about place making and community building. Our efforts owe a debt of gratitude to those who have blazed the trail before us.

We've drawn on the experience that Florida's premier community developer, Arvida, has gained in building over 50 master-planned communities. Like Seaside before us, we believe WaterColor can, and will be, a defining community. It will be a landmark. A touchstone. An authentic interpretation of the land and the culture of which it is born.

WaterColor will be a place that celebrates the Southern art of relaxing in nature. A place where the beach and the dunes and the lakes welcome you.

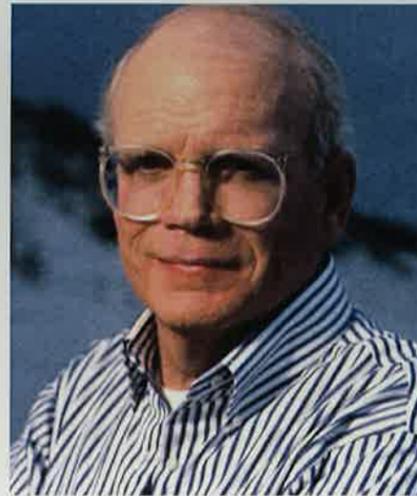
Where the architecture and community plan enhance your experience rather than detract from or overwhelm it. It will be a balm for anyone suffering from the proliferation of numbing sameness.

All of us, I believe, want our work to create value, not just for our families and ourselves, but also for our customers and our communities.

Our goal, our hope, is that WaterColor - this new place - will create value for all of us, now and for a long time to come.

We hope you enjoy this book, and we hope it provides insight and adds to the sum total of knowledge about place making.

We hope you'll join us for the extraordinary experience of living at WaterColor.



A handwritten signature in black ink that reads "Peter S. Rummell".

Peter S. Rummell
Chairman and CEO
The St. Joe Company



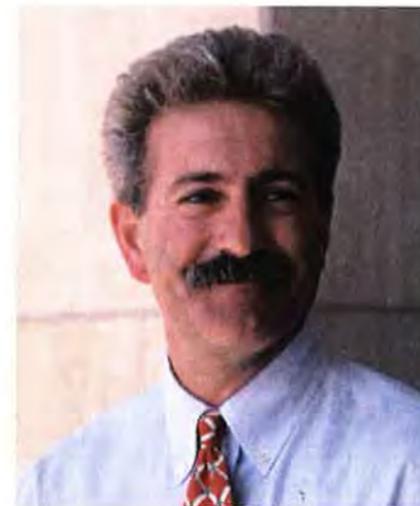
This book is meant as a tool to help you build your dream home — one that is appropriate in its setting, in harmony with its beautiful natural surroundings and comfortable for you and your family. We want what is presented here to deepen your understanding of our vision for the very special place we call WaterColor. And we hope that it provides a good beginning for creating your own WaterColor.

We are deeply indebted to a team of talented organizations and individuals who are making this special place a reality. This book was prepared by Urban Design Associates as a compilation of the work done by our Town Plan Design Team (Cooper, Robertson & Partners and Susan Nelson Warren Byrd Landscape Architects), Arvida's Programming and Marketing Group (and their consultant Diana Permar), and our Residential Architectural Consultants (Historical Concepts, Looney Ricks Kiss and Melanie Taylor and Associates). The design process was cooperative and interactive, and involved a series of charettes in which essential features of WaterColor were proposed, reviewed, revised and established. The plan and codes that follow draw upon appropriate regional historic precedents as well as the specific and unique qualities of the site.

However, what this team has developed is only the start of the creation process. The true builders of WaterColor will be the citizens of this new community. Each of you will not only contribute to place making with the

contribution of your WaterColor house, but perhaps more importantly, your collective spirit will become that of the community. The physical elements that comprise WaterColor—dwelling, street, town, landscape, and community—will shape your experiences here. But it is all of you who bring WaterColor to life and make it a vibrant, memorable place. We hope WaterColor is the perfect setting for a lifetime of wonderful, happy memories for you and your family.

On behalf of Arvida, I welcome you to WaterColor!



Jim Motta
President and CEO
ARVIDA



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SECTION

A

Introduction

In my view, 'place making' is the greatest challenge in real estate development today. True places occupy positions in your mind. Think 'Napa Valley,' 'Nantucket,' or 'Santa Fe' and unique feelings and images immediately come to mind. They have their own personality, character and feel. They can't be recreated anywhere else. Place making begins with a desire to preserve the things that make an area special, that make it unique.

Peter S. Rummell, WaterColor Groundbreaking, 10 October 1999



Nature, Art and Southern Character

WATERCOLOR IS A NEW COMMUNITY on Florida's fabled Emerald Coast that embraces nature, draws upon traditional Southern building and town planning practices, and fosters support for a variety of local artistic and cultural activities, both as observer and participant. It is intentionally and distinctly Southern in feeling, from its overall layout and landscape design to the details of its buildings, pathways and parks.

The plan of WaterColor is a response to the specific natural features and contrasting qualities of the site and to the best aspects of traditional vernacular place making found in the American South. Pedestrian-scaled streets, scented gardens, shuttered porches, narrow alleys and overhanging roofs, vivid as well as pale colors, deep shades and bright surfaces have been brought together to provide a sense of familiarity, stimulation and ease.

This sense of wholeness is underscored by the interweaving of natural and built elements, each reinforcing an appreciation of the other. Marshes, creeks and wooded frontages around the quietly reflective waters of Western Lake provide a variety of complementary but contrasting settings to the long stretch of dunes and dazzling white beaches. Interspersed among and giving form to this distinctive local landscape are strongly vernacular Southern buildings of varying size, finish and color—all of which underscore the strong regional character of the place.



Nature, Art and Southern Character



The Landscape of WaterColor

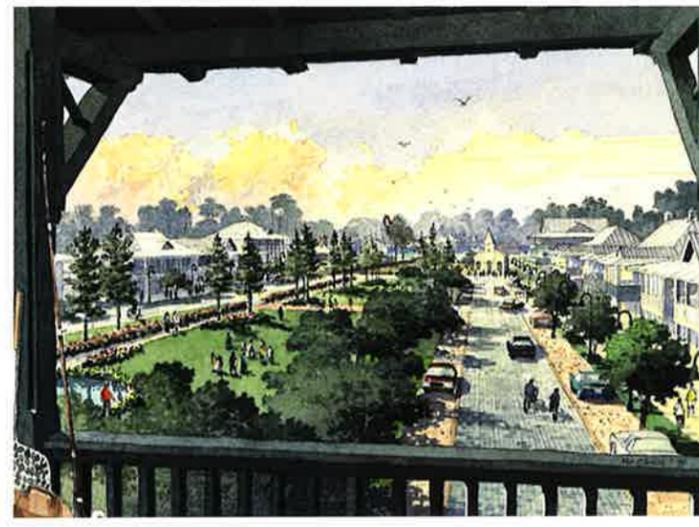
THE LANDSCAPE OF WATERCOLOR is extraordinary, a rare and magical configuration of plant communities found only along this stretch of the Florida beachfront. Here the dark, leaf-stained freshwater lakes and waterlily sloughs lie next to the aquamarine surf of the Gulf of Mexico. Two beautiful ecosystems, adjacent yet intact, create between them a remarkable diverse environment, where one encounters many distinct and identifiable plant communities, including dry upland pine stands, freshwater marshes, cypress depressions, beach dunes with coastal scrub, and sawgrass needle-rush wetlands. Numerous endangered or threatened plant and animal species inhabit these overlapping ecosystems. Because it is such an exceptional environment, and is wooded throughout, very special care has been taken to preserve both the existing vegetation and the animal habitat as integral parts of the new community.

Wind, temperature, sea-salt, soil and most importantly, water, determine what can grow in WaterColor. And because water is central to everything about this environment, it is embraced, protected and celebrated at WaterColor.

The Landscape of WaterColor



WaterColor's Town Center



A view of the The Lawn



Western Lake Drive



An intimate neighborhood street

The Townscape of WaterColor

The Parks

In the best Southern communities, parks tend to be associated with the most prominent public buildings. Thus, at WaterColor, a framework of public spaces—large and small public parks and squares—defines the plan, with the largest of these open spaces, The Lawn, serving as the front door to the community. This broad public space is not only the heart of WaterColor, but provides a long 'water axis' that connects the beach front and main entrance to the highest point of land on the other side of Western Lake. The lawn also creates a visual corridor through the site, from gulf to lake and unites the wooded upland with the white beaches of the Gulf, integrating two quite different places in a direct and powerful way.

The Main Residential Drive

Many Southern towns have a main street, a communal spine, on which the largest and most prominent homes are situated. Western Lake Drive can be seen as a 'land axis'—it links the three residential areas that surround Western Lake, connecting the entrance lawn at the western end of WaterColor to County Road 395 to the east.

The Neighborhoods

WaterColor is comprised of neighborhoods that use a regional palette of landscape and architecture. Houses are oriented toward the street with deep front porches that convey a sense of neighborhood and civic responsibility. Regardless of their size, houses are unpretentious and defer to the landscape and the street. Low fences or hedges provide a subtle delineation between the public zone of the street and the semi-private zone of the front yard and porch. The predominant public image is of shaded porches nestled within a richly textured native landscape.

The Townscape of WaterColor



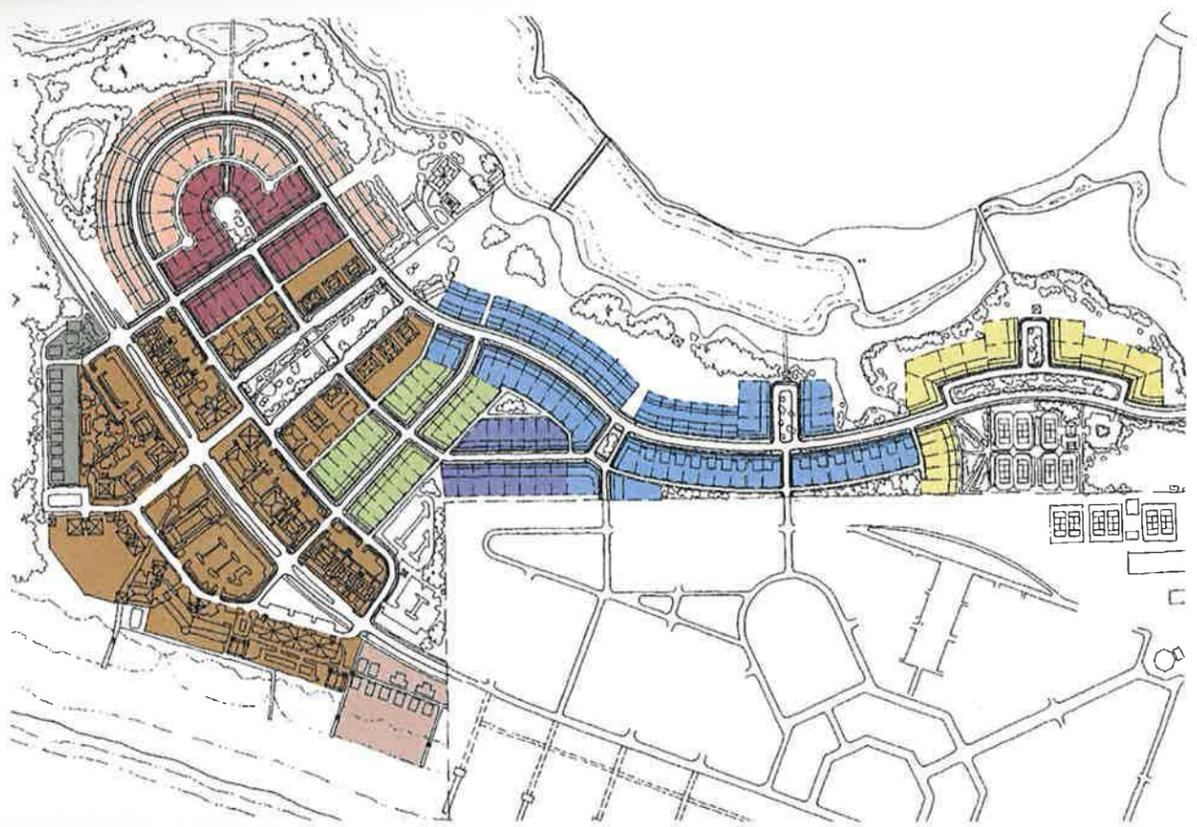
The Architecture of WaterColor

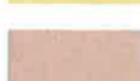
THE VERNACULAR 'SOUTHERNNESS' of WaterColor is clear in its architecture. Houses are simple, low-key and defer to one another and to the connective tissue of the landscape. The regional building traditions, which over the years have evolved to take advantage of shade and capture breezes, will be seen in the porches, 'dogtrot' passages, overhanging eaves, shuttered windows, and screened doors, as well as the traditional use of wood siding, metal roofs and exposed rafter tails. The architectural goal is a simple elegance derived from well proportioned massing and fenestration, a rich color palette and details that catch the sun and create shadows—a sinuous profile on a rafter tail, a delicately turned porch post, the subtle sheen of a cast bronze door knob.



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The Architecture of WaterColor



-  **Town Center** – The heart of WaterColor, with shops, civic buildings, and residences arranged around The Lawn.
-  **Park Row** – Cottages overlooking Grayton Beach State Park.
-  **Sunset Ridge** – Tall houses with two-story porches look across the street to the lake, past lakeside houses set back in the trees.
-  **Rose Garden Mews** – An intimate street that connects the lake to the beach. A garden surrounded by cottages forms its center.
-  **The Lake District** – A gently curving road, lined with prominent houses, that serves as the main residential street.
-  **The Cottage District** – An intimate street, defined by the front porches of cottages, connects the lake to the beach.
-  **Rainbow Row** – A block-long street of colorful cottages.
-  **Sunrise Ridge** – Larger houses along a common green have views to the lake, while smaller cottages face the tennis courts.
-  **Beach Lane** – Cottages connected by a pedestrian path have direct access to the beach.

Addresses within the First Phase

THE CHARACTER OF SOUTHERN TOWNS and neighborhoods that one most admires did not happen by accident. Towns and neighborhoods were laid out according to standard surveying practices. Civic spaces were defined, lots were created and building setbacks established. Houses and buildings filled in the plan over the course of many years, the massing and setbacks following what had come before.

Similar tools are used to describe distinct addresses within the community. While houses employ a consistent architectural language throughout the community, each address will be defined by its particular arrangement of house types, use of landscape elements and building coloration.



Phase I is surrounded by water, spanning from the beach to Western Lake.



One of WaterColor's addresses is Rose Garden Mews, with cottages surrounding a public garden.

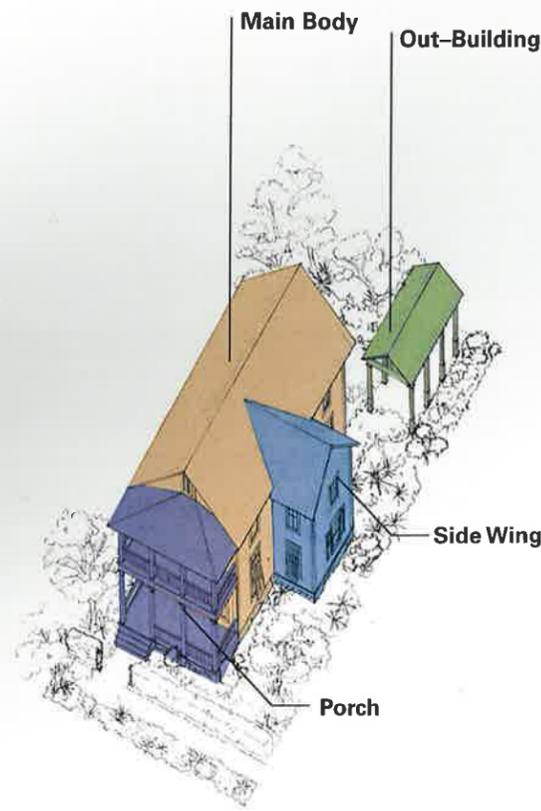


Sunrise Ridge is an address characterized by larger houses facing a common green.

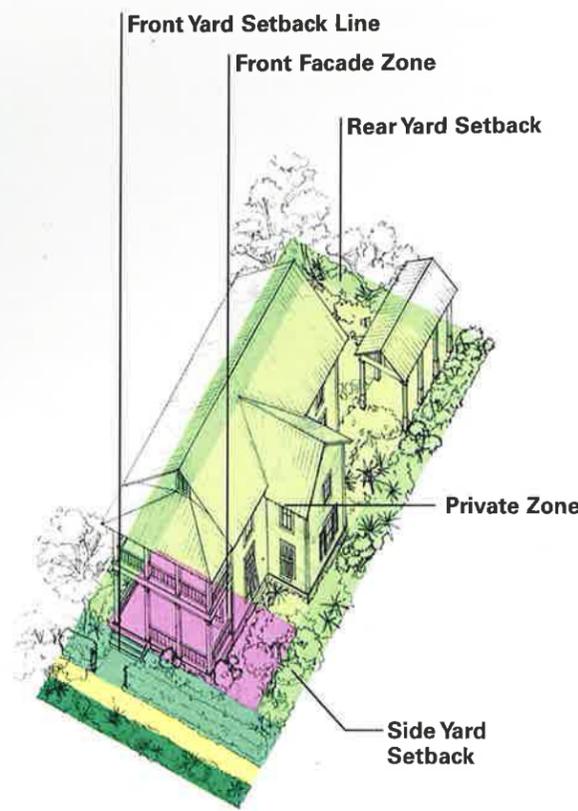
Addresses within the First Phase



A WaterColor House
Simple, dignified massing with large porches and overhanging roofs

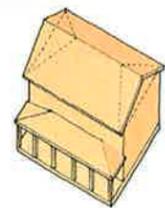


Elements of a WaterColor House
The Main Body is the largest and most visible element with the most specific design requirements. Side or Rear Wings, Porches, and Out Buildings provide a wide range of options for homebuilders.

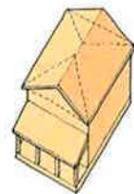


Siting a WaterColor House
Houses and other structures are placed on the site within zones set by the Pattern Book. Typically, the front porch is placed as close as possible to the Front Yard Setback, while preserving existing trees. The Front Facade Zone, indicated by the purple area, describes the part of the site that is to present a public facade. The darker green areas represent the front, side, and rear setbacks.

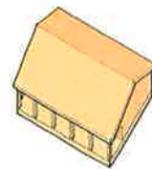
WaterColor House Types



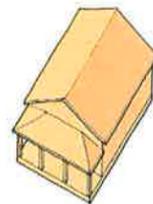
Center Hall House



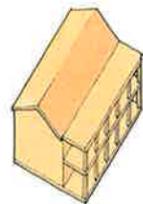
Side Hall House



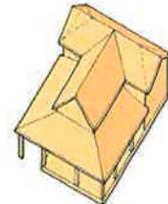
Creole Cottage



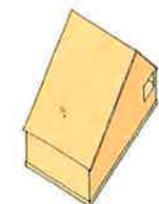
Single Cottage



Sideyard House



T-Shaped House



Spraddle-roof Cottage

The WaterColor House

The WaterColor House

WATERCOLOR HOUSES WILL CREATE the backdrop for the many distinct addresses within the town. As in traditional Southern towns, the houses define the character of the public space and reflect the individual composition of the private realm behind the porch or front door.

In these traditional neighborhoods, the front portion of the house is the most public and must be responsive to the character of the neighborhood and the adjacent houses. The landscaping of the front yard, the setbacks from the street, the size and placement of the house on the lot and the front porch are all shared elements that form the public realm.

The houses in WaterColor are based on the traditional vernacular architecture of the Florida panhandle, using regional house types. The house types are defined by the character and shape of the Main Body.

Using traditional architectural elements, a type of carport was invented for WaterColor called a 'porch cochère'. This parking structure is to be an extension of a porch; greater detail can be found on the Parking Structures page, C-6.

Principal Elements

The WaterColor House includes these principal elements:

The **Main Body** of the house, which is the principal mass and includes the front door.

Side or Rear Wings, which are one or two stories connected to the Main Body. These optional additions have smaller massing than the Main Body and are set back behind the Front Facade Zone.

Porches are required to be added to the Main Body. These include full-facade front porches, wraparound porches and side porches. Some architectural styles have porches that are inset into the Main Body.

Out Buildings are optional structures that include carports, garages, storage buildings and work studios. Typically, Out Buildings must be placed behind the Front Facade Zone, with the exception of 'porch cochères'—carports that are designed and detailed as a continuation of the front porch.

Towers, Cupolas and Widow's Watches are optional elements that allow distant views from certain lots. See page C-7 for requirements.

How to Use this Pattern Book

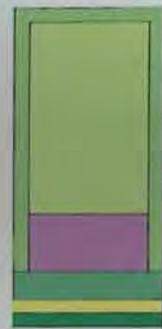
The **WaterColor Pattern Book** will guide the development of neighborhoods and houses to fulfill the original vision described in the master plan. The Pattern Book has three sections: *Community Patterns*, which establishes guidelines for placing the house on its lot and defining neighborhood character; *Architectural Patterns*, which establishes the architectural patterns and elements that may be used; and *Landscape Patterns*, which sets palettes and standards for the various lot types and ecological zones.

Step 1 Selecting a WaterColor Lot

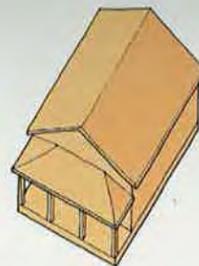
The Pattern Book should be used in the very beginning of the process of selecting the lot for your WaterColor home. Some lots require two-story houses; other lots require one- or one-and-a-half-story houses. Different lots have different setback requirements. Each lot also has particular requirements for the location of porches and publicly oriented facades. Refer to the Community Patterns section to find the lot that best suits the size and layout of the house you plan to build.

Step 2 Shape and Size

The basic mass of the house will determine the general location of the programmatic elements. The Pattern Book addresses the appearance of the house and the yard from the street or public space. The portions of the house that are not visible from the public areas can accommodate a broader range of elements and may not follow the compositional patterns found on the public faces of the house.



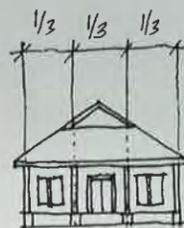
A typical Cottage lot



Typical Main Body massing for a Single Cottage



A sample Single Cottage plan



Window and door placement diagram

The *WaterColor House* on page A-6 describes the massing pieces: Main Body, Porch, Side or Rear Wing, and Out Building. House Types are determined by the shape of the Main Body and the location of porches. The Address pages specify which house types are permitted on each lot, and whether the house is to be one story or two.

Depending on the house type, the Main Body will be a simple rectangular volume oriented perpendicular to the street or parallel to the street, or a simple T-shape, of one or two stories. The Main Body massing for each house type is described on page C-2.

Step 3 Room Layout and Location of Windows and Doors

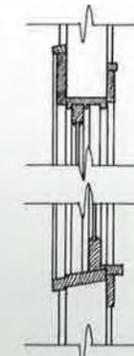
The window and door spacing is related to both the shape and the width of the house. It is important that all sides of the house that are exposed to public view have correctly composed facades. On facades with porches, window and door spacing should relate to porch bays. Some possible facade compositions are shown on page C-2. Window and door designs are described on page C-5.

Step 4 Porch Design

Porches are important to the character of the neighborhoods. The massing of the front porch is specific to each house type. The location of porches on the site is described in the Building Placement pages (B-3 through B-8). Additional porch requirements for particular lots are described in the Address pages (B-9 through B-14). Porches must be at least 8 feet deep. Page C-4 specifies column types, handrail and eave profiles to use in designing the porches.



An example of a traditionally detailed porch



Typical window head/sill profile

Step 5 Materials

As outlined in Section C-7, Materials and Possibilities, WaterColor houses will use materials traditional to this region: wood board-and-batten or drop siding, metal roofs and brick or stucco pier foundations.

Step 6 Details

Before lumber yards and building products manufacturers took over the design of windows, doors and columns, builders distinguished themselves by inventing signature eaves, handrails and columns. The Architectural Patterns section (Section C) documents some of the typical details found in the best traditional examples of Southern vernacular architecture.

Step 7 Color

Each address within WaterColor will be described by a particular color palette. Refer to Section E when selecting the colors for your house.

Step 8 Landscape

WaterColor houses will inhabit the landscape with the least possible disruption to the site. Refer to Section D for guidance on the layout of outdoor living spaces, and the selection of plants and paving materials.



How to Use this Pattern Book

SECTION

B

Community Patterns

From *The Timeless Way of Building* by Christopher Alexander

"A ... town will only be alive to the extent that it is governed by the timeless way ... There is a central quality which is the root criterion of life and spirit in a man, a town, a building or a wilderness. This quality is objective and precise, but it cannot be named ... In order to define this quality in buildings and towns, we must begin by understanding that every place is given its character by certain patterns of events that keep happening there ... These patterns of events are always interlocked with certain geometric patterns in the space. Indeed, as we shall see, each building and each town is ultimately made out of these patterns in space, and out of nothing else ... The specific patterns out of which a building or a town is made may be alive or dead. To the extent they are alive, they let our inner forces loose, and set us free; but when they are dead, they keep us locked in inner conflict ... The more living patterns there are in a place — a room, a building, or a town — the more it comes to life as an entirety, the more it glows, the more it has that self-maintaining fire which is the quality without a name ..."



Frontyard setbacks and facade zones define the building lines that create the public spaces of WaterColor.

Lot Patterns and Zones

INDIVIDUAL HOUSES SHOULD BE PLACED carefully on their lots in order to create the character and variety of public space called for in the Master Plan. The diagrammatic site plan indicates the yards (dark green) and the facade zones (lavender) for all of the properties in Phase I. Although specific requirements for each address are described in the Address section, there are general patterns for each lot type that include setbacks from property lines and zones for particular parts of the house.

Typically, the front porch shall be placed as close as possible to the **Front Yard Setback Line**, while preserving existing trees. The **Front Yard** is the area between the Front Yard Setback Line and the Front Property Line.

Rear Yard Setback Lines define the minimum distance from the rear property line to a built structure. **Side Yard Setback Lines** define the minimum distance between any structure and the side yard property line. Structures, including porches and swimming pools, may not encroach into the Front, Side, or Rear Yards. Porch steps, though, may encroach into these Yards.

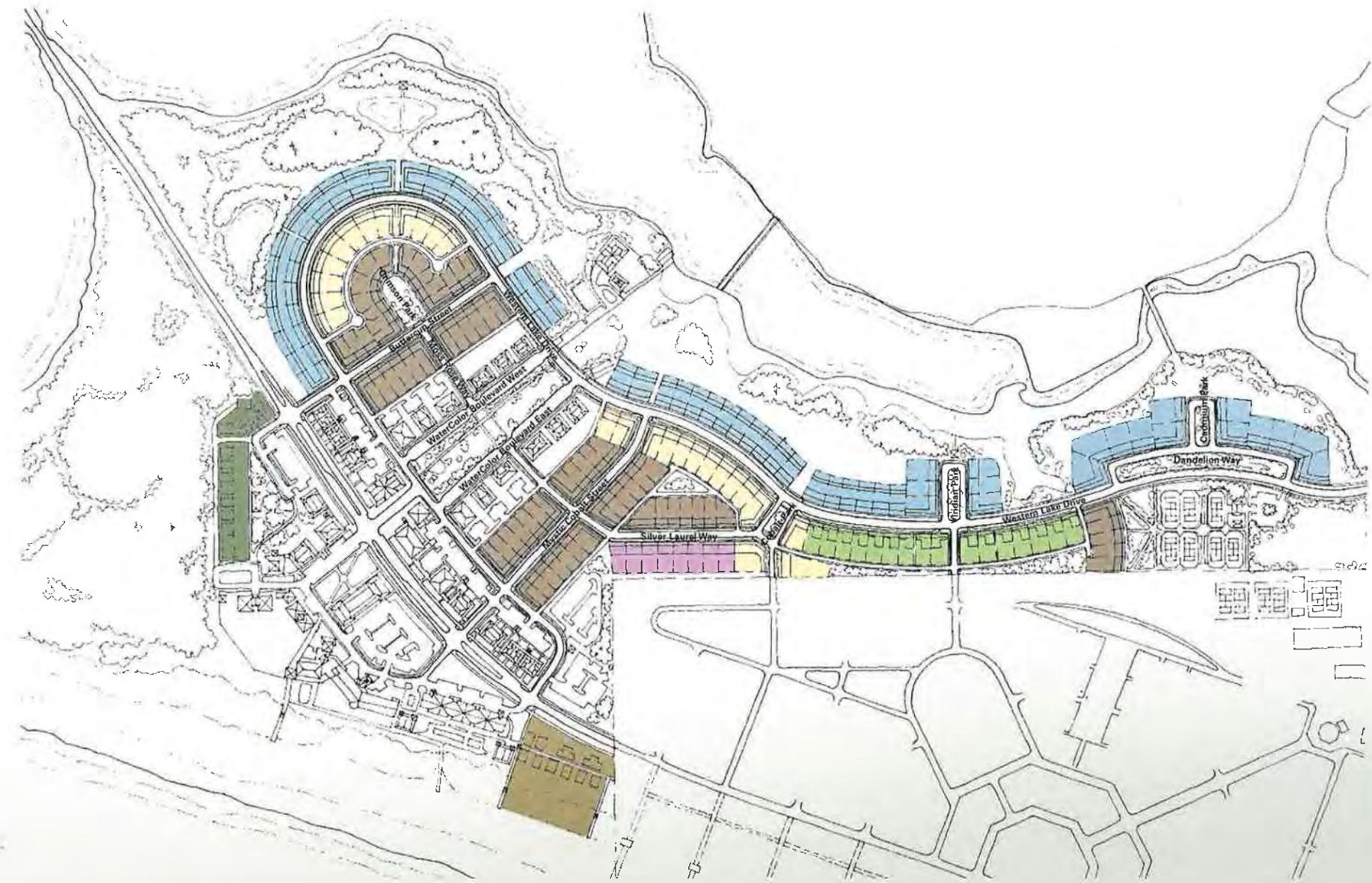
There are also zones that control placement and design of the house and other structures. The **Facade Zones** define the portions of the site that shall present a public facade, as described in the general conditions for the lot type and in the specific guidelines for the lot location within the Community Patterns section. All lots have a **Front Facade Zone** that addresses the street. A **View Facade Zone** is established for those lots with rear yards visible to the public.

On corner lots, a **Side Street Facade Zone** is established adjacent to the cross street. All facades within the Facade Zones must follow the compositional guidelines established by the architectural patterns.

The interior of the lot is the **Private Zone**.

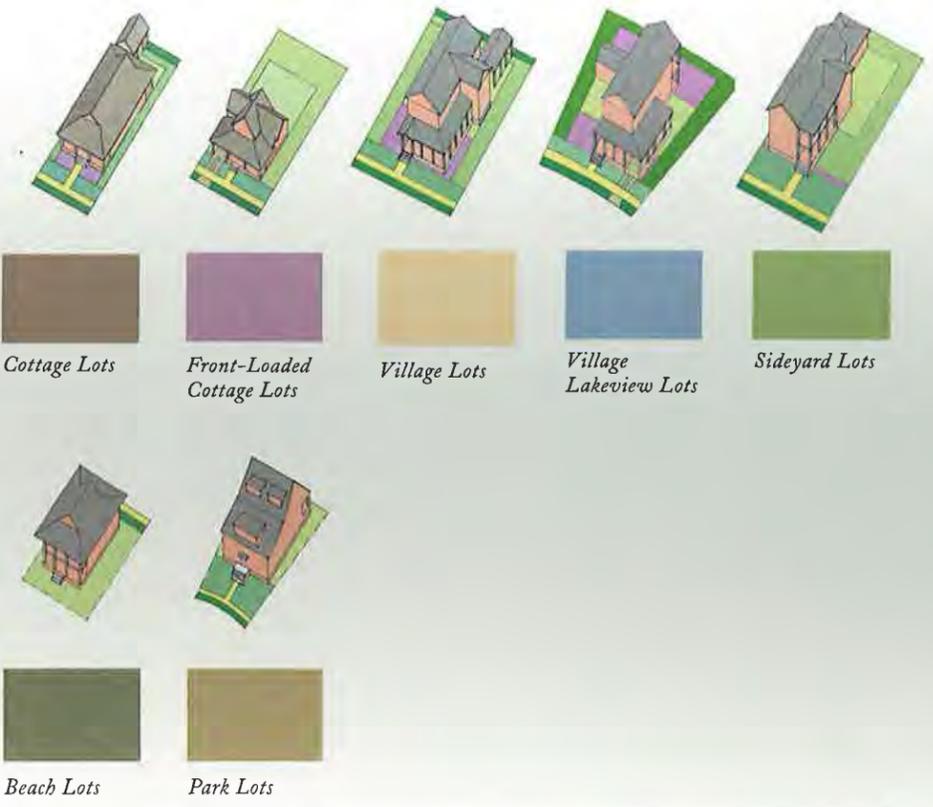


Lot Patterns and Zones

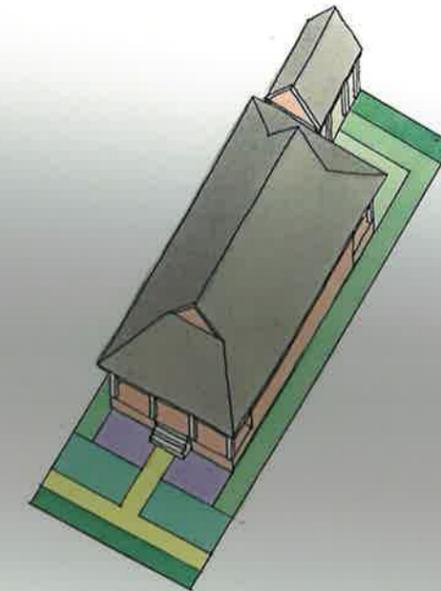
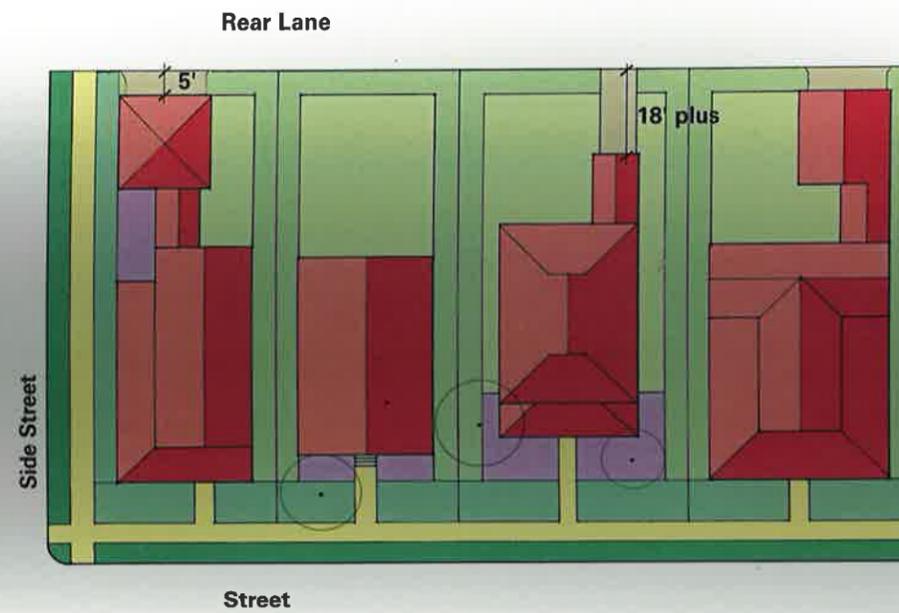
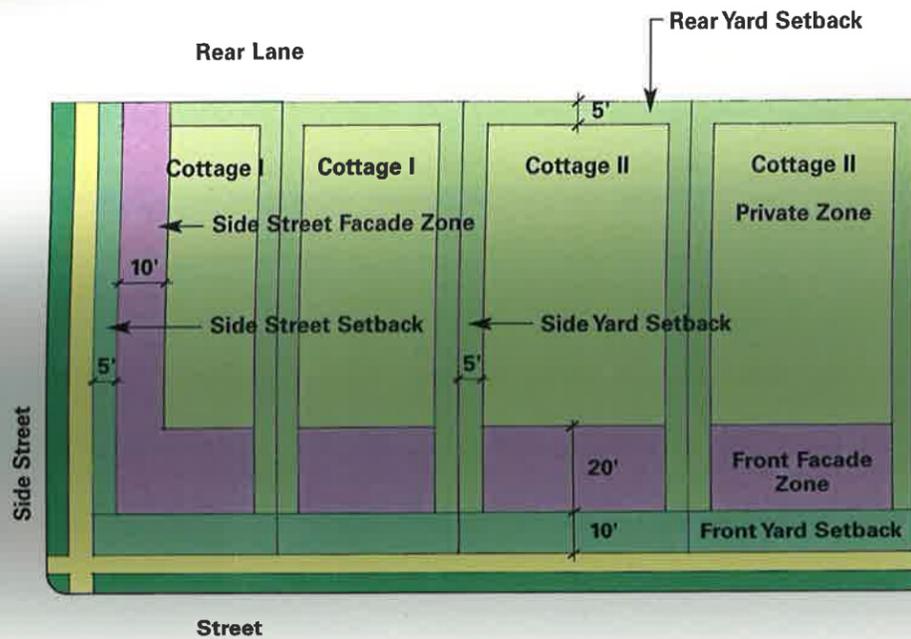


Lot Types

WATERCOLOR OFFERS A VARIETY of lot types, ranging from 40 feet to over 70 feet wide. These include seven lot types—Cottage, Front-Loaded Cottage, Village, Lakeview Village, Sideyard, Beach, and Park. Cottage, Village, Sideyard and Park lots have parking accessed from a rear lane—either a carport, garage or paved parking pad. Parking must be accessed from the street for Front-Loaded Cottage and Village Lakeview lots, so particular care must be given to the design and integration of parking pads, carports, or garages with the front facade of the house. Each individual lot has a number of specific house types that may be built on that lot, depending on the location of the lot and its relationship to surrounding lots and public areas. The lakeside as well as the street side facades of houses placed on Village Lakeview lots will be visible from across the lake and other public areas, so both facades must be designed as public facades, with full-length porches on both facades.



Lot Types



Cottage Lots I & II Specifications

Lot Size

Cottage I lots are 40 feet wide. Cottage II lots are 50.

Main Body

The width of the Main Body of the house shall be a maximum of 30 feet for Cottage I and 40 feet for Cottage II lots.

Front Yard Setback / Front Facade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise in the Address section. The Front Facade Zone extends 20 feet from the Front Yard Setback Line. The

front porch shall be placed as close to the Front Yard Setback Line while sitting the house to preserve as many trees as possible.

Side Yard Setback

Minimum 5-foot setback from the side property line.

Side Street Setback / Side Street Facade Zone

Structures shall be set back a minimum of 5 feet from the side street property line, unless noted otherwise in the Address section. The Side Street Facade shall be defined by the side facades of the Main Body and any Rear Wings or Out Buildings. Wraparound porches are

encouraged on the Main Body. Where there is no building structure, the Side Street Facade shall be delineated by a fence or hedge. Houses on corner lots shall have a garage, carport, or other Out Building placed on the Rear Yard Setback line within the Side Street Facade Zone.

Rear Yard Setback

All structures shall be set back a minimum of 5 feet from the rear lane right-of-way.

Encroachments

Only porch steps may extend into the Front Yard and Side Street Setback Zone.

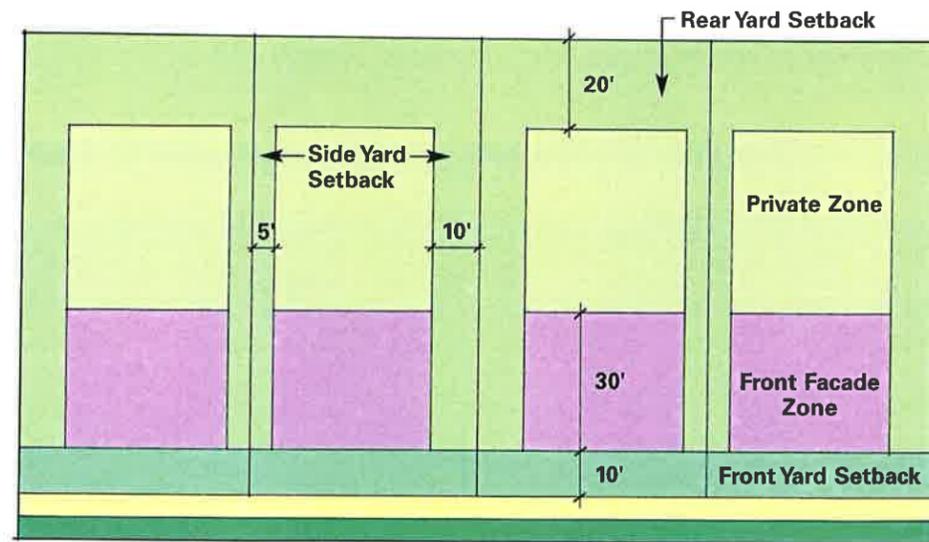
Out Building Requirements

Garages and carports shall be set back either 5 feet from the rear property line or a minimum of 18 feet. Garages may be either detached or attached to the Main Body by a one-story rear wing. Garage doors opening onto public streets are not permitted.

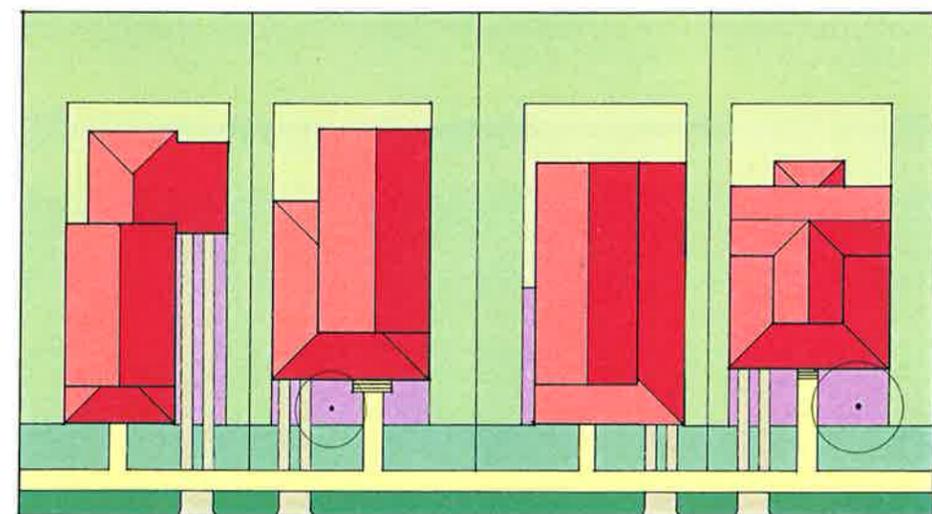


Building Placement – Cottage Lots

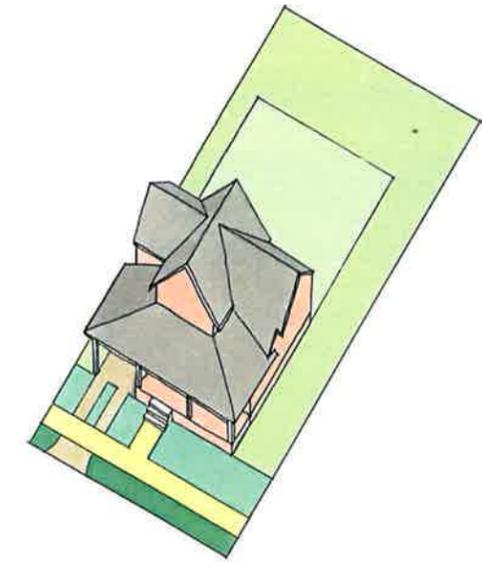




Street



Street



Front-Loaded Cottage Lot Specifications

Lot Size

Front-loaded cottage lots are 50 feet wide.

Main Body

The width of the Main Body of the house shall be a maximum of 35 feet.

Front Yard Setback

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise in the Address section. The front porch shall be placed as close to the Front Yard Setback Line while siting the house to preserve as many trees as possible.

Front Facade Zone

The Front Facade Zone extends 30 feet from the Front Yard Setback Line.

Side Yard Setback

Structures shall be set back a minimum of 5 feet from the side property line.

Encroachments

Only porch steps may extend into the Front Yard and Side Street Setback Zone.

Rear Yard Setback

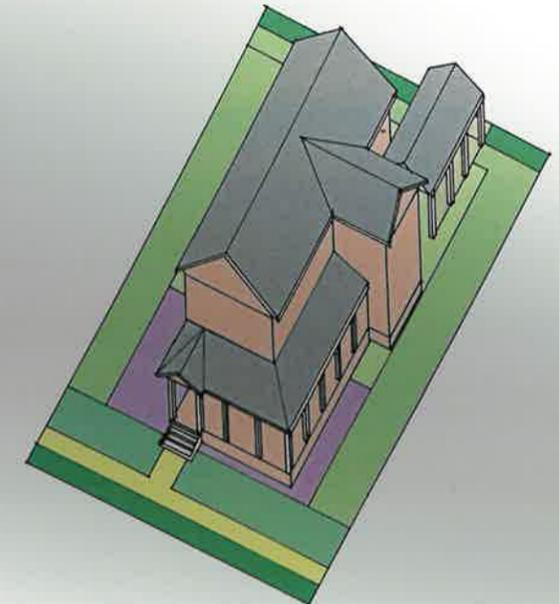
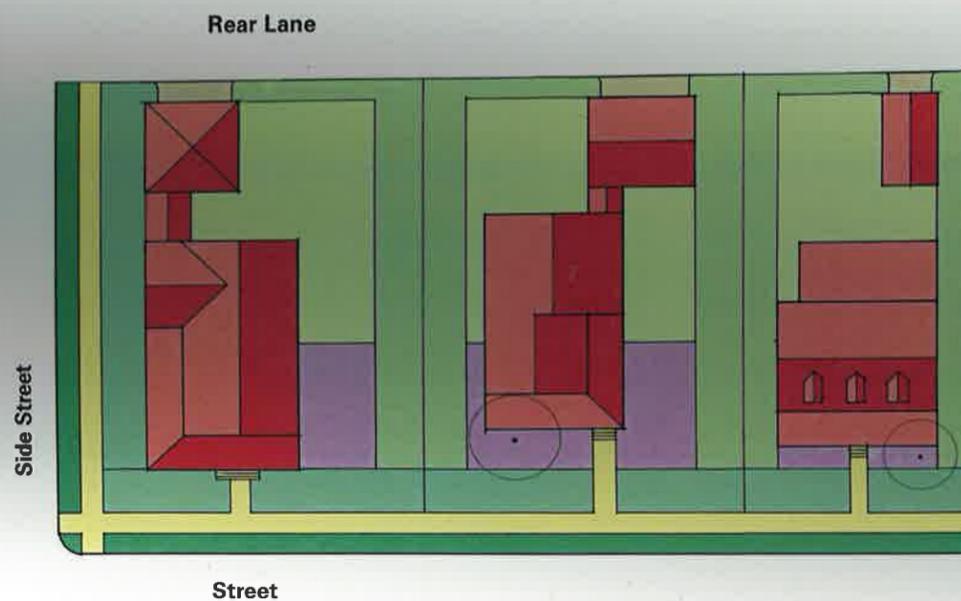
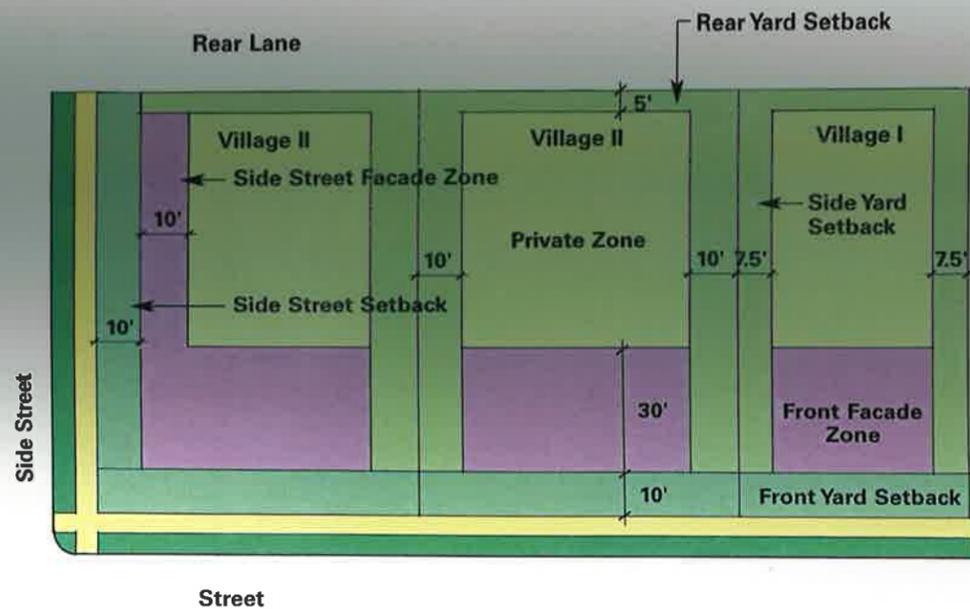
Structures shall be set back a minimum of 20 feet from the rear property line.

Out Building Requirements

Garages shall not extend into the Front Facade Zone. Garages may be either detached or attached to the Main Body by a one-story rear wing. 'Porch cochères' (carports designed to be integral with the front porch) may be placed within the Front Facade Zone. 'Porch cochères' shall be a maximum of 14 feet wide.



Building Placement – Front-Loaded Cottage Lots



Village Lots I & II Specifications

Lot Size

Village I lots are 50 feet wide. Village II lots are 70 feet wide.

Main Body

The width of the Main Body shall be a maximum of 35 feet for Village I lots and 50 feet for Village II lots.

Front Yard Setback Line / Front Facade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise in the Address section. The Front Facade Zone extends 30 feet from the Front Yard Setback Line. The front porch shall be placed as close to the Front Yard Setback Line while siting

the house to preserve as many trees as possible.

Side Yard Setback

Structures shall be set back a minimum of 7.5 feet from the side property line for Village I lots and 10 feet setbacks for Village II lots.

Side Street Setback / Side Street Facade Zone

Structures shall be set back a minimum of 10 feet from the side street property line. The Side Street Facade shall be defined by the side facades of the Main Body and any Rear Wings or Out Buildings. Wraparound porches are encouraged on the Main Body. Where there is no building structure, the Side

Street Facade shall be delineated by either a fence or a hedge. Houses on corner lots shall have a garage, carport or other out building, placed on the rear lane setback within the Side Street Facade Zone.

Rear Yard Setback

All structures shall be set back a minimum of 5 feet from the rear lane right-of-way. Houses on corner lots shall have a garage, carport, or other Out Building placed on the Rear Yard Setback Line within the Side Street Facade Zone.

Encroachments

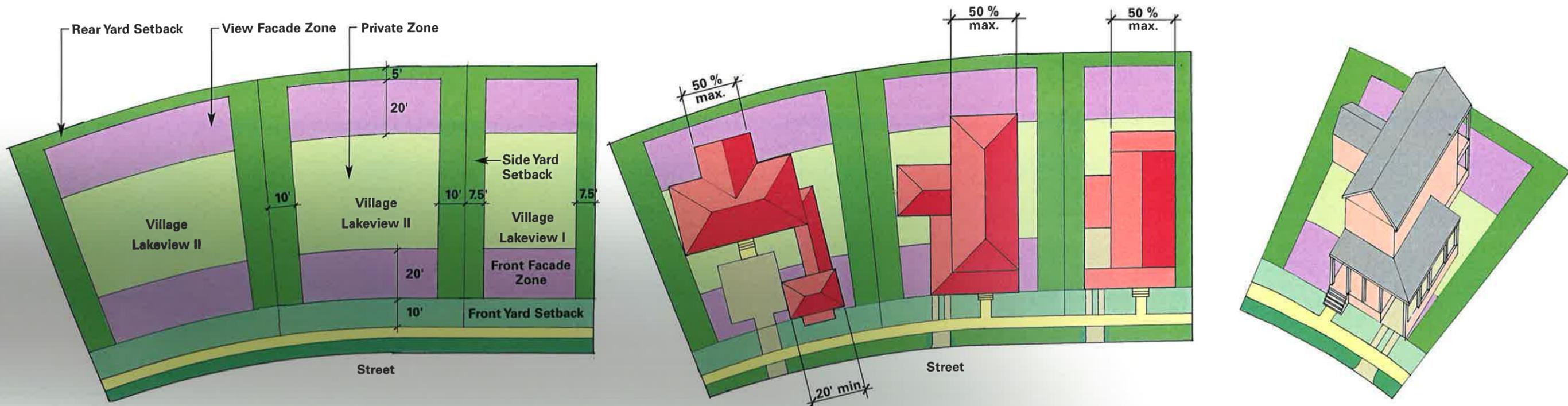
Only porch steps may extend into the front yard and Side Street Setback Zone.

Out Building Requirements

Garages may be either detached buildings or one-and-one-half- to two-story masses attached with a one-story connection to the main body. Garage doors may not face the street. 'Porch cochères' (carports designed to be integral with the front porch) may be placed within the Front Facade Zone.



Building Placement – Village Lots



Village Lakeview Lots I & II Specifications

Lot Size

Village Lakeview I lots are approximately 50 feet wide. Village Lakeview II lots are approximately 70 feet wide.

Main Body

The width of the Main Body of the house shall be a maximum of 35 feet for Village I lots and 50 feet for Village II lots. The Main Body need not be placed in the Front Facade Zone. The house should be sited to preserve as many trees as possible.

Front Yard Setback / Front Facade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise in the Address section.

The Front Facade Zone extends 20 feet from the Front Yard Setback Line. A minimum 20-foot-wide building mass at least one-and-one-half stories high and containing a living area shall be placed on the Front Yard Setback Line, while preserving as many trees as possible.

Side Yard Setback

Structures shall be set back a minimum of 7.5 feet from the side property line for Village Lakeview I lots and 10 feet setbacks for Village Lakeview II lots.

Side Street Setback / Side Street Facade Zone

Structures shall be set back a minimum of 5 feet from the side street property line. The Side Street Facade shall be

defined by the side facades of the Main Body and any Rear Wings or Out Buildings. Where there is no building structure, the Side Street Facade shall be delineated by a fence or hedge.

Rear Yard Setback/ View Facade Zone

Structures shall be set back a minimum of 5 feet (unless noted otherwise in the Address section) from the rear property line, including porches and swimming pools. The View Facade Zone extends 20 feet from the setback line. The total width of the buildings within the View Facade Zone may be no more than 50 percent of the width of the lot at the rear property line. A full-facade, two-story porch, which may be partially or fully enclosed, is required on all Main

Body or Rear Wing structures within the View Facade Zone.

Encroachments

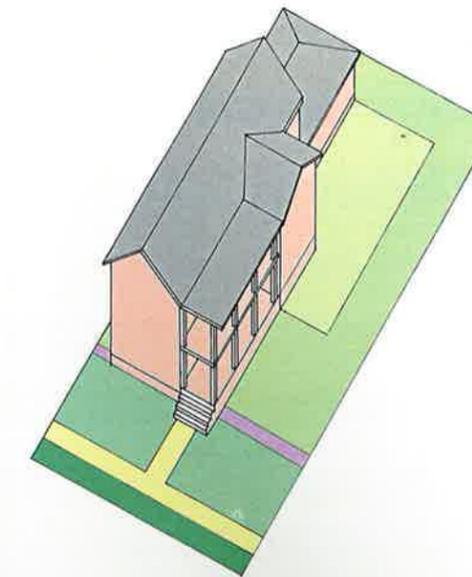
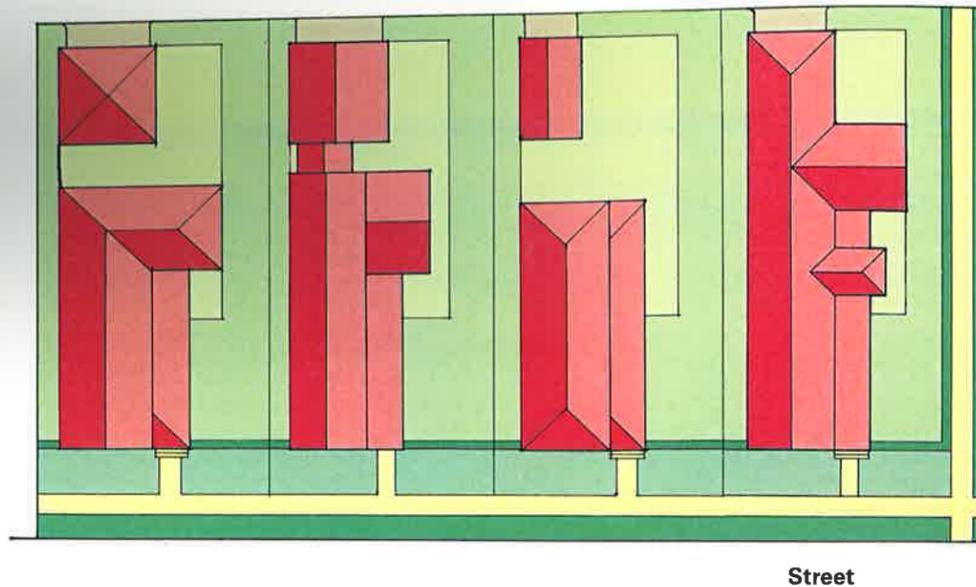
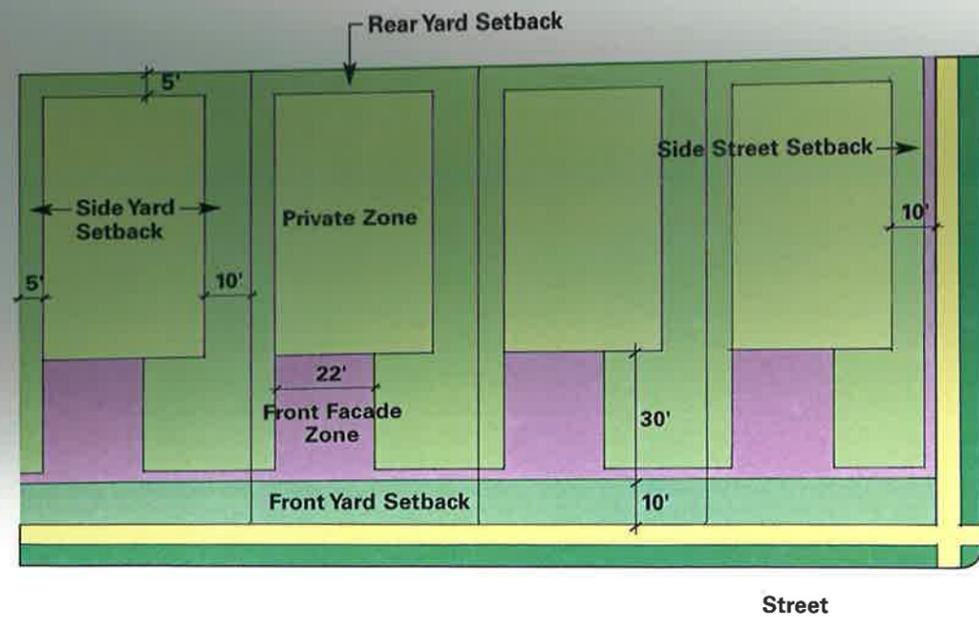
Only porch steps may extend into the Front Yard and Side Street Setback Zone.

Out Building Requirements

Garages may be either detached buildings or one-and-one-half- to two-story masses attached with a one-story connection to the Main Body. Garage doors may not face the street. Carriage houses, garages with living areas above, may be placed in the Front Facade Zone. 'Porch cochères' (carports designed to be integral with the front porch) may be placed within the Front Facade Zone.



Building Placement – Village Lakeview Lots



Sideyard Lots I & II Specifications

Lot Size

Sideyard I lots are 50 feet wide. Sideyard II lots are 60 feet wide.

Main Body

The width of the Main Body shall be a maximum of 22 feet.

Front Yard Setback / Front Facade Zone

Minimum 10-foot setback from the front property line to either the porch or the Main Body is required. The Front Facade Zone extends 30 feet from the Front Yard Setback Line and is 22 feet wide. The front facade of the house is to be placed on the Front Yard Setback Line. A side porch (minimum 30 feet

long and 8 feet deep) is to face the deepest side yard, and may encroach on the side yard. A fence or hedge shall be placed on the remaining frontage on the Front Yard Setback.

Side Yard Setback

Minimum 5-foot and 10-foot setbacks from the side property lines, to either a porch or a facade.

Side Street Setback

A minimum 10-foot setback from the side street property line to a structure. The side street property line shall be delineated by a by fence or hedge, as described on page 5 of Section D.

Encroachments

Only porch steps may extend into the 10 foot Front Yard and Side Street Setback Zone. Only porches and porch steps may encroach into the Side Yard.

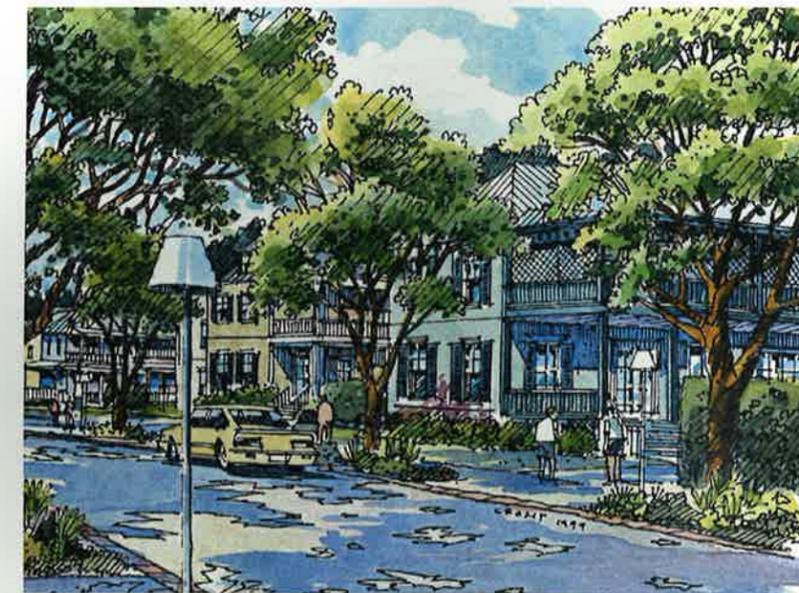
Garage Requirements

Garages and carports shall be set back either 5 feet from the rear lane right-of-way or a minimum of 18 feet. Garages may be either detached or attached. Garage doors opening onto public streets are not permitted.

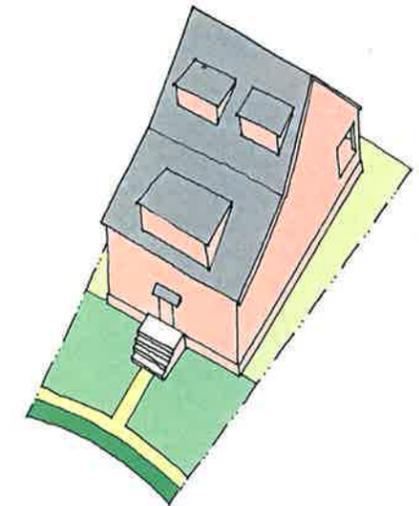
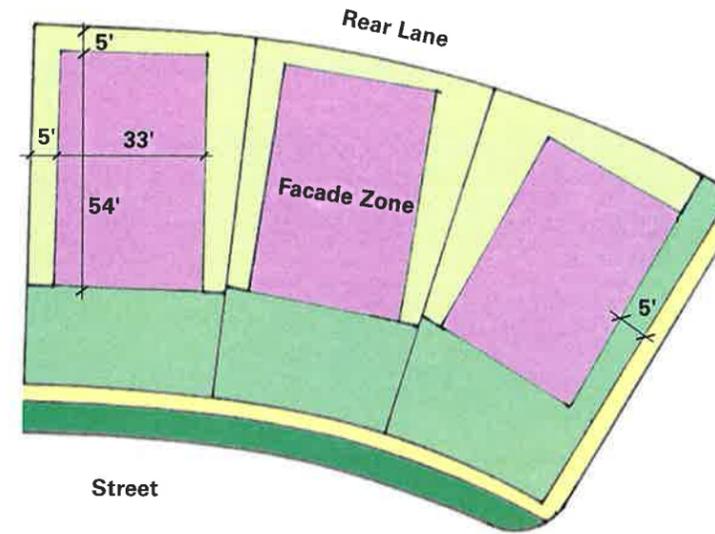
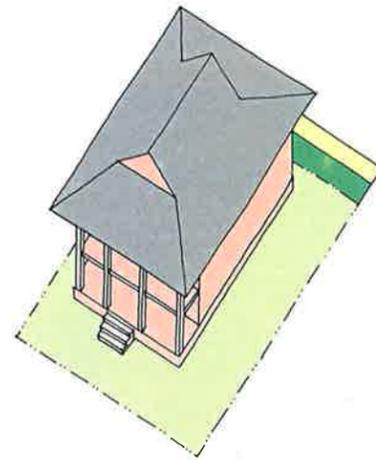
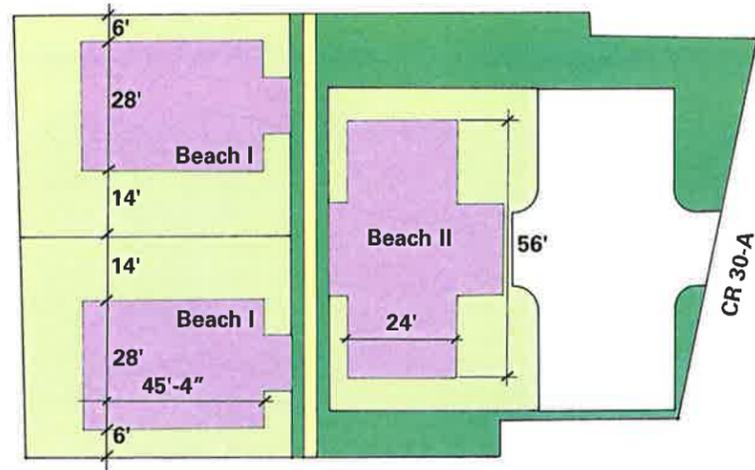
Hedge Requirements

A hedge is required to extend from the front facade to the property line on each

side, along the Front Yard Setback Line and, as described on page 5 of Section D.



Building Placement – Sideyard Lots



Beach Lots

Lot Size

Beach I lots are 48 feet wide. Beach II lots vary in size.

Main Body

The Main Body on Beach I lots shall be a maximum of 28 feet wide by 45 feet - 4 inches deep. The Main Body on Beach II lots shall be a maximum of 56 feet wide by 24 feet deep.

Facade Zone

No portion of the house, including porches but excluding porch steps, may encroach beyond the Facade Zone.

Garage Requirements

Parking for Beach I and II Lots shall be provided in trellis structures fronting CR 30-A.

Hedge Requirements

For Beach II Lots, a hedge is required on the 30-A property line.



Lot Size

Park Lots are typically 43 feet wide.

Main Body

The Main Body on Park Lots shall be 32 feet to 33 feet wide by a maximum of 54 feet deep.

Facade Zone

No portion of the house, including porches but excluding porch steps, may encroach beyond the Facade Zone.

Garage Requirements

Garages and carports shall be set back 5 feet from the rear lane right-of-way. Garages may be either detached or attached. Garage doors opening onto public streets are not permitted. Garages may be incorporated into the Main Body of the house and within the Facade Zone.

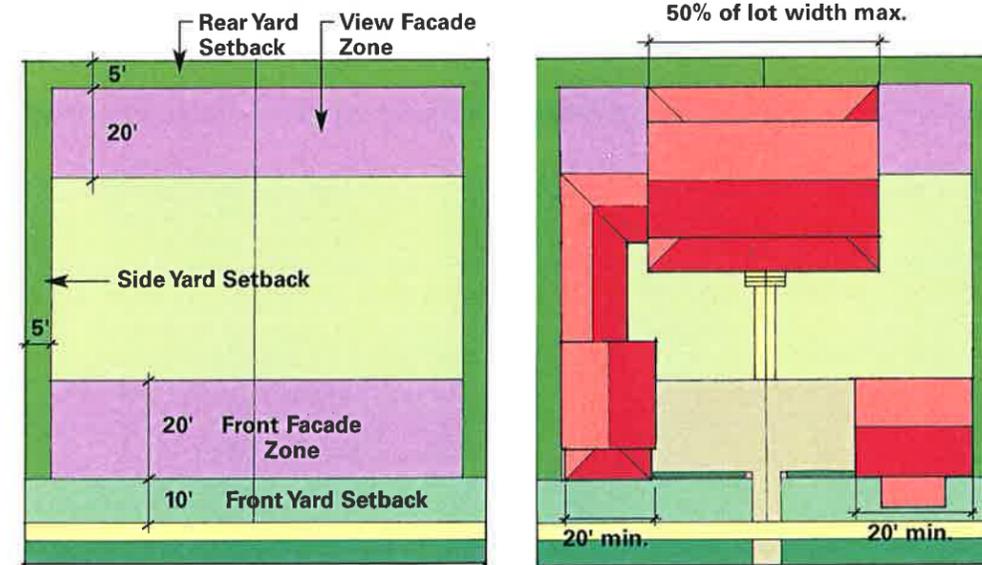
Hedge Requirements

A hedge or fence is required on the front and side street property lines.



Building Placement – Beach & Park Lots





Double-Lot Specifications

Lot Size

Double lots combine two adjacent lots. Only certain Village Lakeview lots may be combined. A combined double lot may not be adjacent to another double lot.

Main Body

The width of the Main Body of the house shall be a maximum width of 60 feet. It need not be sited in the Front Facade Zone. The house should be sited to preserve as many trees as possible.

Front Yard Setback / Front Facade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless

noted otherwise in the Address section. The Front Facade Zone extends 20 feet from the Front Yard Setback Line. Two building masses, each a minimum of 20 feet wide and a minimum of one-and-one-half stories high, and each containing a living area shall be placed on the Front Yard Setback Line, while preserving as many trees as possible.

Side Yard Setback

Structures shall be set back a minimum of 10 feet from the side property line.

Side Street Setback / Side Street Facade Zone

Structures shall be set back a minimum of five feet from the side street property line. The Side Street Facade shall be

defined by the side facades of the Main Body and any Rear Wings or Out Buildings. Where there is no building structure, the Side Street Facade shall be delineated by either a fence or a hedge.

Rear Yard Setback / View Facade Zone

Minimum 5-foot setback from the rear property line unless noted otherwise in the Address section. The View Facade Zone extends 20 feet from the setback line. The total width of all buildings within the View Facade Zone may be no more than 50 percent of the width of the lot at the rear property line. A full-facade, two-story porch, which may

be fully or partially enclosed, is required on all Main Body or Rear Wing structures within the View Facade Zone.

Encroachments

Only porch steps may extend into the Front Yard.

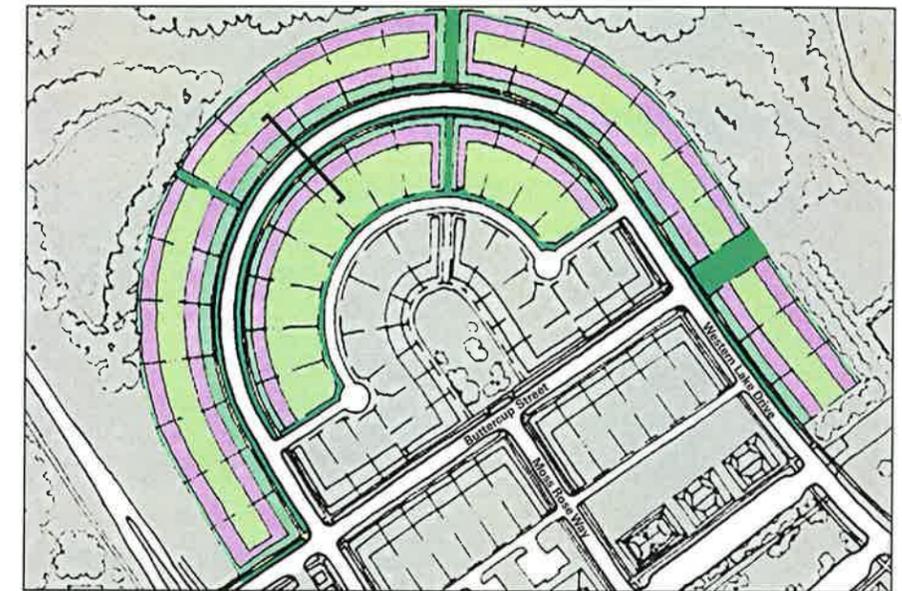
Out Building Requirements

Garages may be either detached buildings or one-and-one-half-story masses attached with a one-story connection to the main body. Garage doors may not face the street. Carriage houses, garages with living areas above, may be placed in the Front Facade Zone. 'Porch cochères' (carports designed to be integral with the front porch) may be placed within the Front Facade Zone.



Lots that may be combined to create Double Lots

Building Placement – Double Lots



Outer Side (Village Lakeview Lots)

Inner Side (Village Lots)

Main Body Types

Two- or two-and-one-half-story, Center Hall or Side Hall houses.

Main Body Types

Two or two-and-one-half-story Side Hall or T-Shaped houses.

House Placement

The Main Body has a maximum width of 50 feet. While the Main Body need not be placed in the Front Facade Zone, a structure containing a living area must be built to the Front Yard Setback Line with a minimum facade width of 20 feet and minimum height of one-and-one-half-stories with either balconies or porches facing the street. Structures within the View Facade Zone shall be designed with full-facade, two-story porches. The total width of the structure within the View Facade Zone may be no more than 50% of the width of the rear of the lot.

Placement

Front porches should be set back from the street 10 feet. Two-story front porches are encouraged.

Colors: Darker shades of the same palette as the outer side of the crescent; see Section E

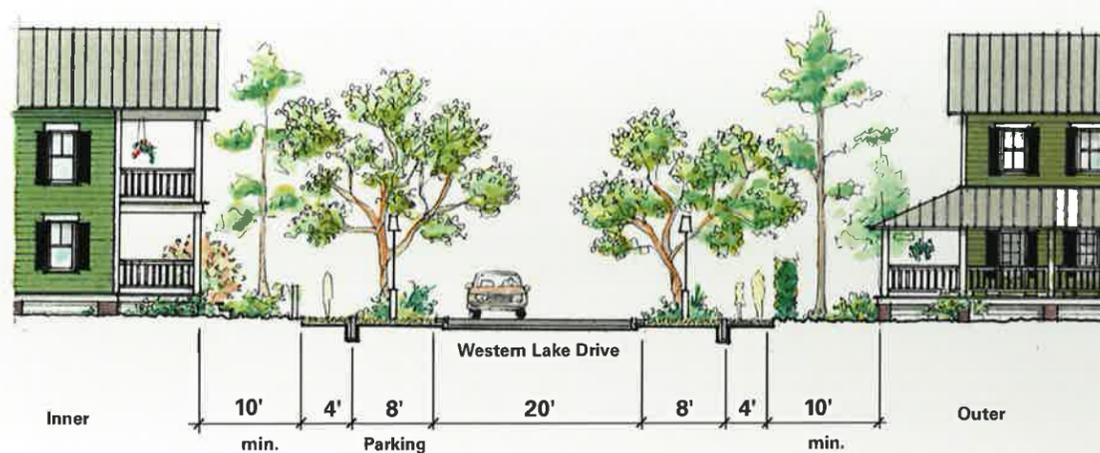
Colors

Cool and muted tones of green, blue and taupe; see Section E

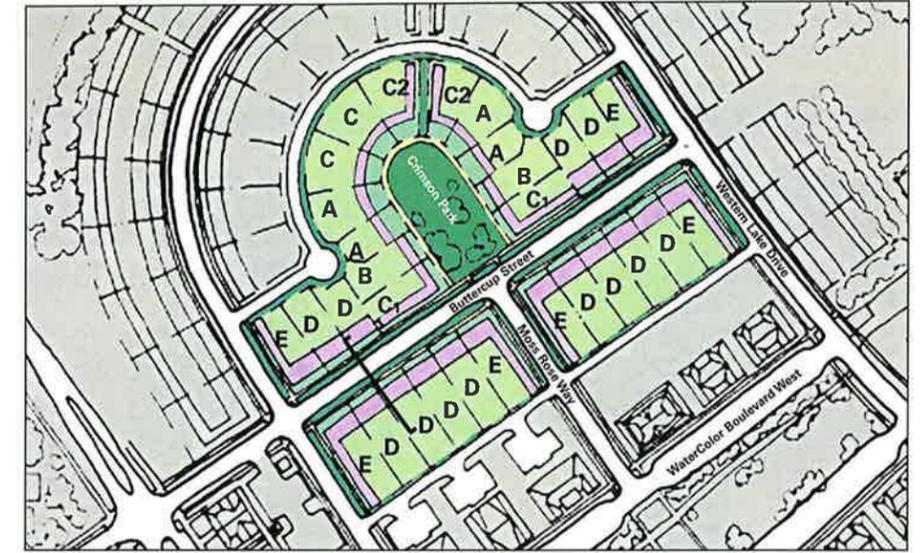


Sunset Ridge

Sunset Ridge creates the edge of town. Houses on the outer side of the crescent have spectacular views through a wooded area to Western Lake and to the Gulf, while allowing view corridors for houses across the street. Houses on the inner side of the crescent have large front porches and towers to take advantage of these views.



Addresses – Sunset Ridge



Crescent Frontage Lots (Cottage Lots)

Main Body Types

For (A) lots, either one- or one-and-one-half-story Single cottages; for (B) lots, one-and-one-half-story Single cottages; and for (C) lots, two-story Side Hall or T-Shaped houses.

House Placement

Front porches should be set back 20 feet from the front property line, except for the B and C₁ lots where the Front Yard Setback and Side Yard Setback Lines are 10 feet from the front property line. Towers and tall elements should be used to mark corners on C₁ lots and along the pedestrian path (C₂).

Colors

Warm vibrant tones of red, pink, yellow, and orange; see Section E.

Street Frontage Lots (Cottage Lots)

Main Body Types

For (D) lots, either one- or one-and-one-half-story Single or Creole cottages; for (E) lots, two-story Side Hall or T-Shaped houses.

Placement

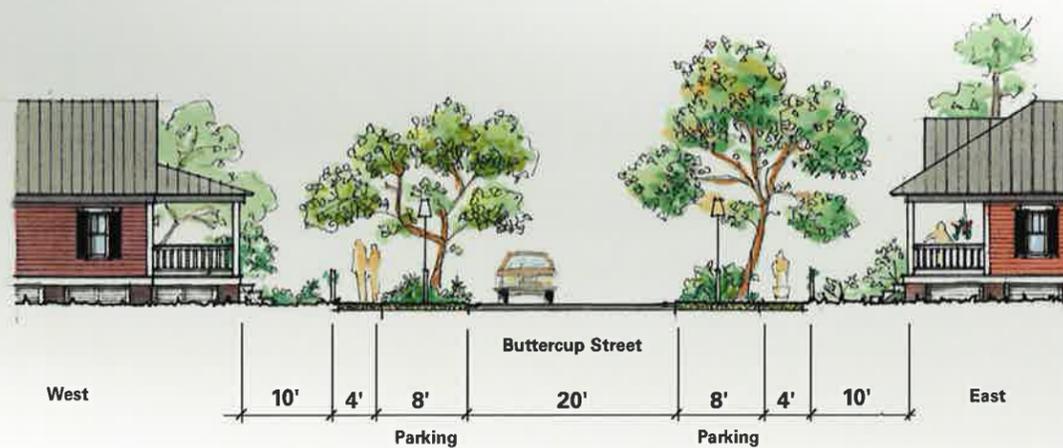
Front porches should be set back 10 feet from the front property line.

Colors

Buildings are a range of grays and neutral colors, with trim and special elements in bright colors. See Section E.

Rose Garden Mews

Rose Garden Mews consists of a crescent-shaped park with a walkway lined with brightly colored cottages, and a street, lined with similar houses, that leads to the water. The continuous porches and landscaping create an intimate neighborhood within the town. The ends of blocks and the corners of the Crescent are defined by two-story houses.



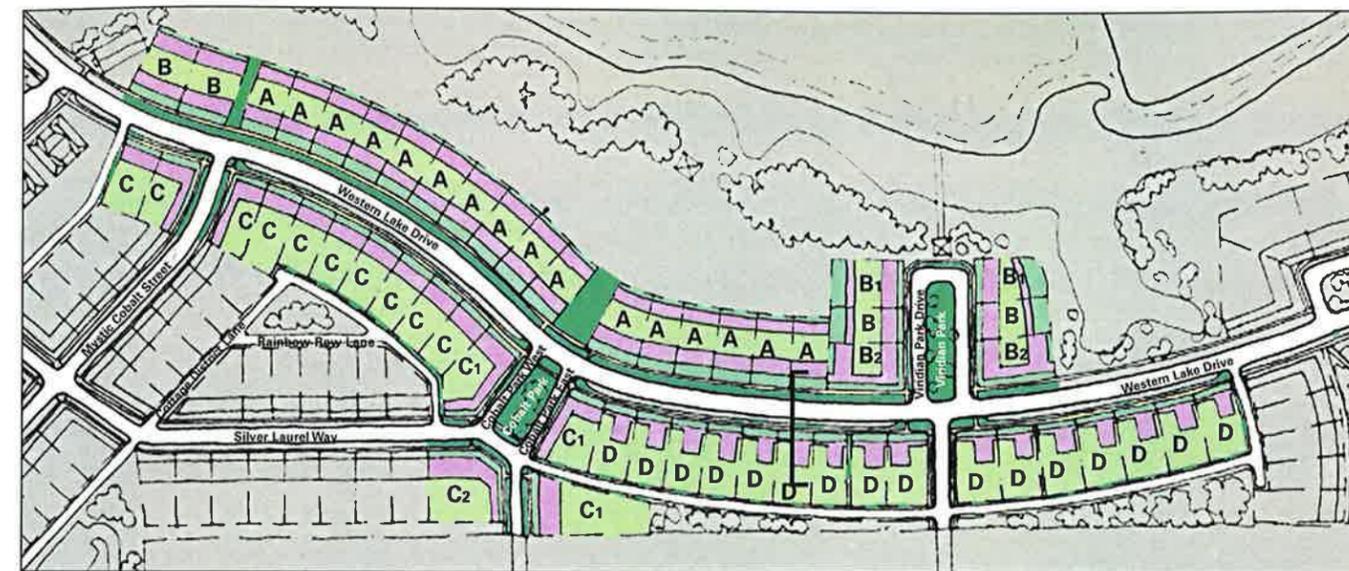
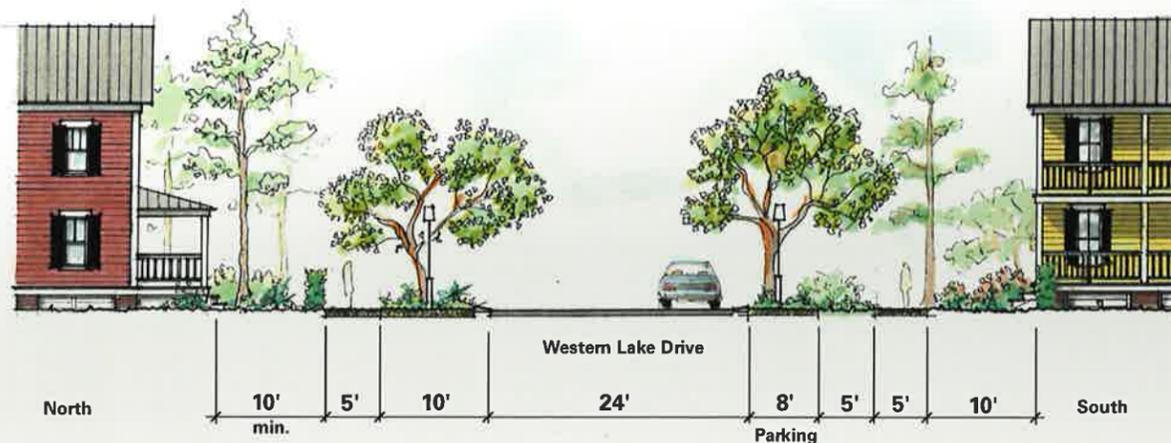
Addresses – Rose Garden Mews





Western Lake Drive

Western Lake Drive is WaterColor's main residential street which will connect the future neighborhoods of WaterColor to the Town Center. Along it are a variety of houses and neighborhood greens, each with a distinct character. Houses on the north side of the street have backyards which look across the lake or wetlands. They are designed to take advantage of those views while still providing view corridors for houses on the south side. There are a variety of house types along the street.



South Side Lots (Village Lots and Sideyard Lots)

Main Body Types

For (C) lots, two- or two-and-one-half-story Side Hall houses, and for (D) lots, two-and-one-half-story Side Yard houses.

Placement

Lots on the western block (C) have a 12-foot Front Yard Setback on which front porches are to be placed. The eastern blocks (D) have a 10-foot Front Yard Setback. The front facades of these Side Yard houses are to be placed on the Front Yard Setback Line. C₁ and C₂ houses have 10-foot front and side yard setbacks. These houses should have wraparound porches and use other elements to provide a continuous facade around the park. The front facade of C₂ should address the park.

Colors

Limited to a few muted colors per house, with white trim in white; houses on Viridian Park have accents in red and darker sandtones; see Section E.

North Side Lots (Village Lakeview Lots)

Main Body Types

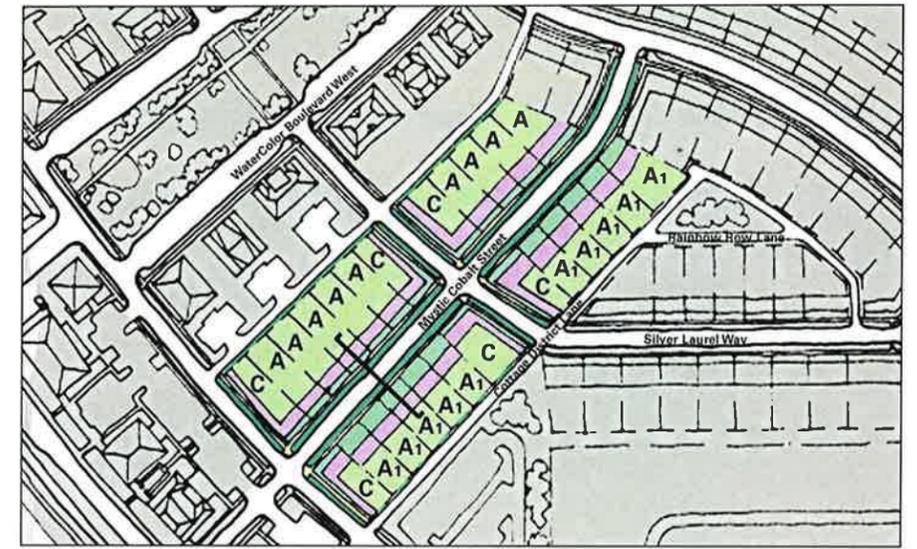
For (A) lots, two- or two-and-one-half-story Side Hall houses for 50-foot lots; and for (B) lots, one-and-one-half-, two-, or two-and-one-half-story Center Hall houses for the wider lots.

Placement

Houses are to be set back a minimum of 10 feet from the front property line. B and B₁ lots have 20-foot rear lot setbacks. Towers and tall elements should be used on B₁ lots. Wraparound porches and other elements should be used at the corners on B₂ lots to define the public open spaces along Western Lake Drive.



Addresses – Western Lake Drive



West Side (Cottage Lots)

Main Body Types

For (A) lots, one- or one-and-one-half-story Single or Creole cottages; for (C) lots, two-story Side Hall houses.

House Placement

Front porches are to be placed on the Front Yard Setback Line, 10 feet from the front property line. Wraparound porches, towers and tall elements are encouraged on corner (C) lots.

Colors

A range of gray and neutral colors, from cool to warm, with trim and special elements in more colorful tones; see Section E.

East Side (Cottage Lots)

Main Body Types

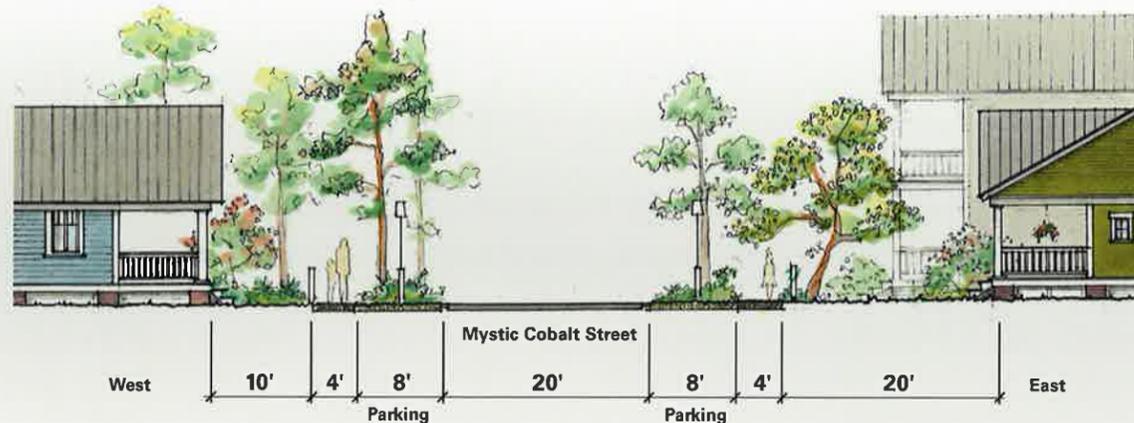
For (A1) lots, one- or one-and-one-half-story Single or Creole cottages; for (C) lots, two-story Side Hall houses.

House Placement

Front porches must be built on the Front Yard Setback Line. Corner lots (C) have a 10-foot Front Yard Setback. Mid-block houses on the east side of the street (A1) have a 20-foot Front Yard Setback. Wraparound porches, towers and tall elements are encouraged on corner (C) lots.

The Cottage District

The Cottage District is a two-block-long street, lined with cottages, that runs from the beach to the lake. The corners of streets are defined with two-story houses, that serve as gateways and make the transition from the larger buildings at each end of the street. The front porches and landscape provide shade and an intimate neighborhood character.

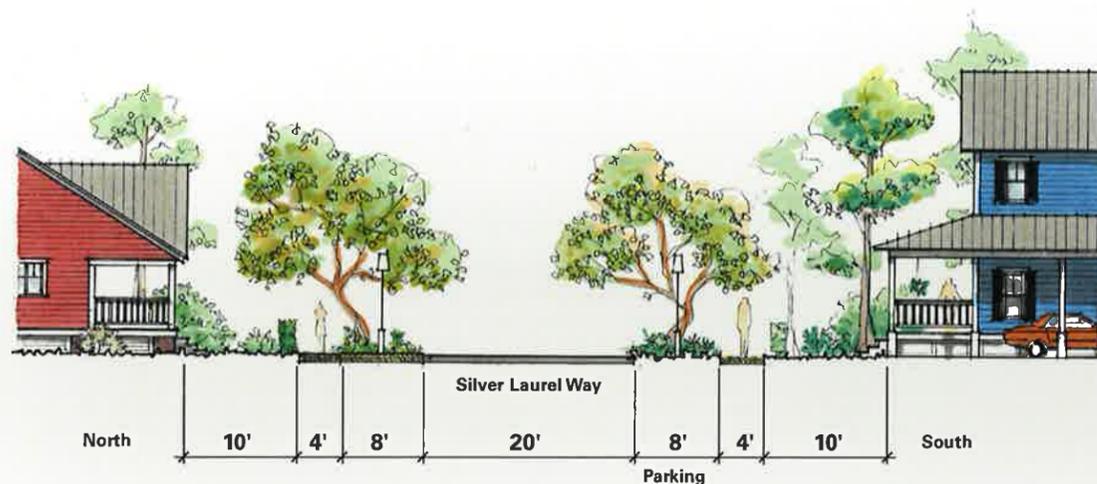


Addresses – The Cottage District

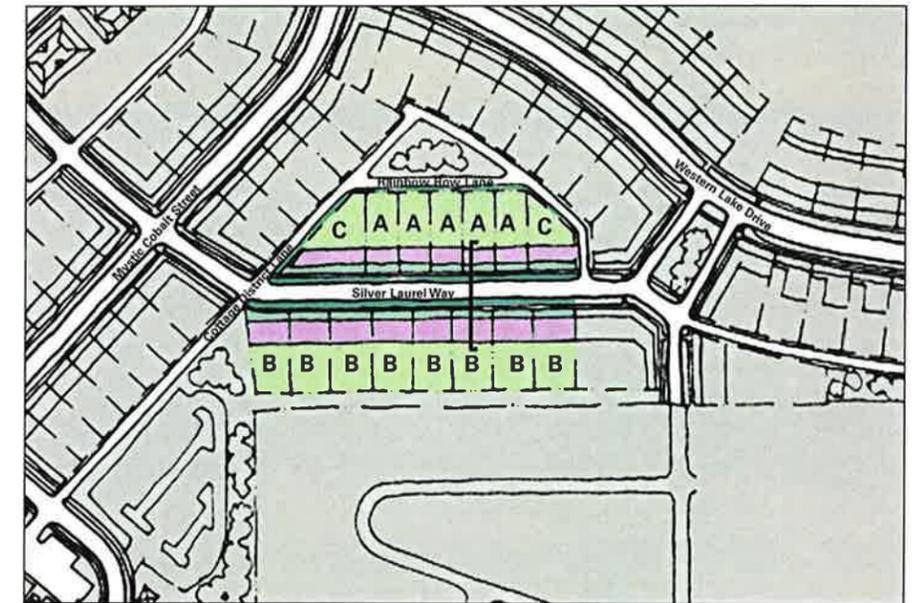


Rainbow Row

Rainbow Row, a distinct address between Western Lake Drive and the Cottage District, is an intimate street lined with cottages and two-story houses. The south side of the street has taller houses which are front-loaded. The north side has a row of cottages flanked by two-story houses.



Addresses – Rainbow Row



**North Side
(Cottage Lots)**

Main Body Types

For (A) lots, either one- or one-and-one-half-story Creole or Single cottages; for (C) lots, two-story Side Hall houses.

House Placement

The front porches of all houses should be built to the 10-foot Front Yard Setback Line. Front porches which are integral with the Main Body are encouraged in order to create a more intimate scale for the street space. Houses on corner lots should have side wings and be placed to block views of the alleys.

Colors

A collection of vibrantly painted houses in colors which span the spectrum; see Section E.

**South Side
(Front-Loaded Cottage Lots)**

Main Body Types

For (B) lots, two- or two-and-one-half-story T-Shaped houses.

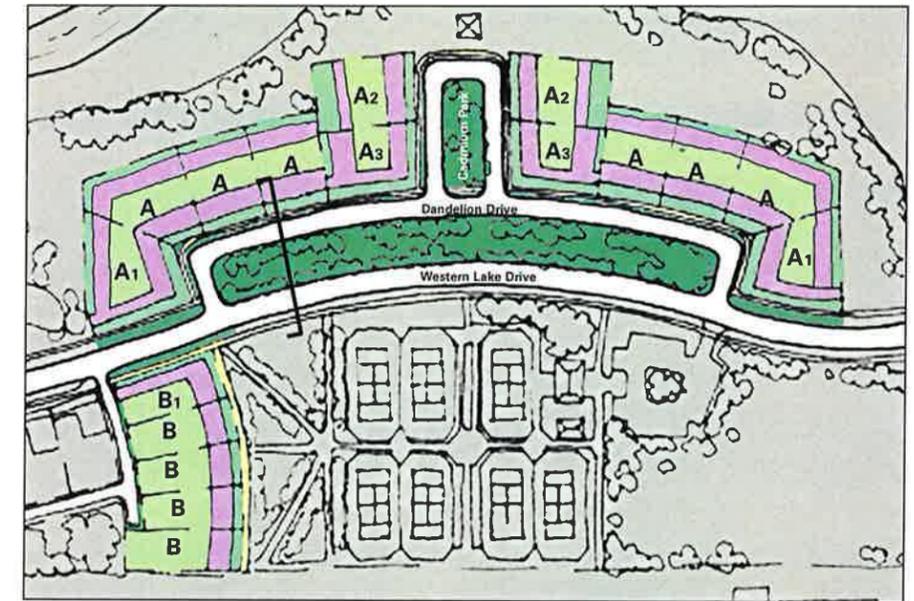
House Placement

The front porches of all houses should be built to the 10-foot Front Yard Setback Line. Front porches which are integral with the Main Body should contribute to creating a more intimate scale for the street space.



Sunrise Ridge

Set in the wooded part of WaterColor, Sunrise Ridge is lined with large houses facing a long gentle crescent of native vegetation. A small green leads to a park that overlooks the wetlands and the natural conservation areas of the site.



**Sunrise Ridge
(Village Lakeview Lots)**

Main Body Types

For (A) lots, two- or two-and-one-half-story Center Hall houses.

House Placement

Houses may be set back anywhere from 10 to 30 feet from the front property line and should be placed to preserve as many existing trees as possible. Houses on corner lots (A1 and A3) should front the crescent or smaller green, respectively, yet provide continuous structure along their south side. The A2 houses have 20-foot rear yard setbacks to allow for views from the corner lots.

Colors

Cool and muted tones of green, blue and taupe. Houses within the crescent should be in darker shades of the same palette, reflecting their location deeper within the woods; see Section E.

**Tennis Cottages
(Cottage Lots)**

Main Body Types

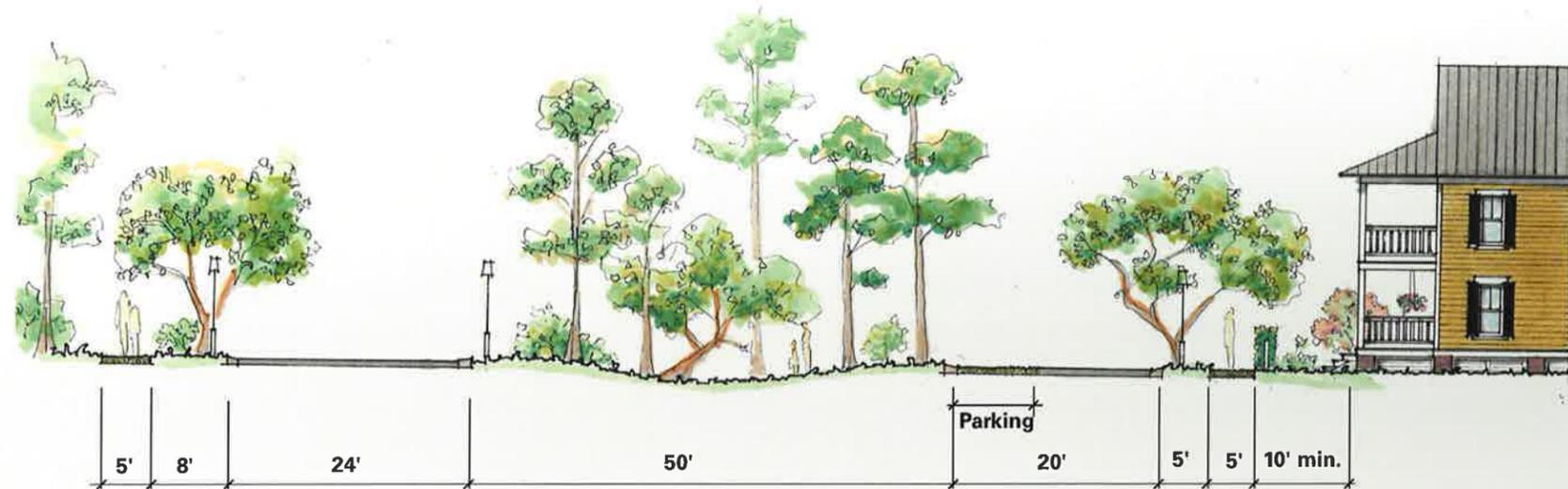
For (B) lots, one- or one-and-one-half-story Creole cottages, Single cottages or T-Shaped houses .

House Placement

Houses are set back 10 feet from the property line and should be placed to preserve as many existing trees as possible. Houses on corner lots (B1) should provide continuous structure along Western Lake Drive.

Colors

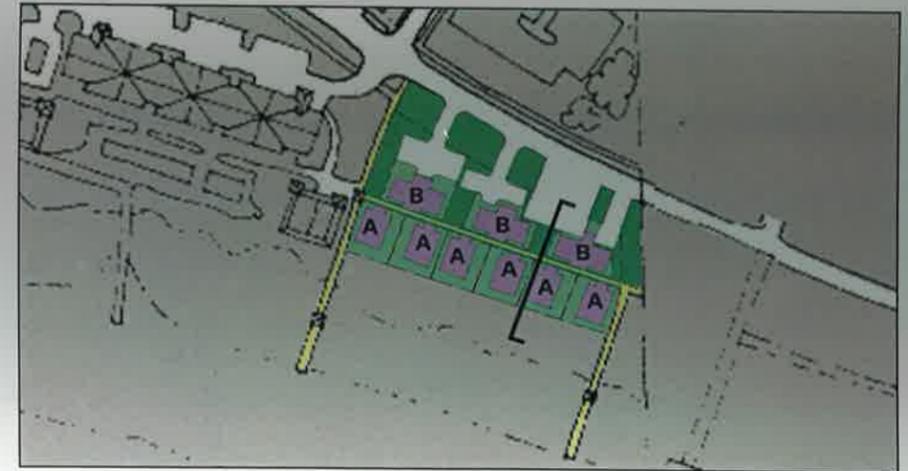
Yellow and cream colors; see Section E.



Addresses – Sunrise Ridge

Beach Lane

Beach Lane houses are connected by an interior pedestrian path while public facades address the beach.



**Waterside Lots
(Beach I Lots)**

Main Body Types

For (A) lots, two- or two-and-one-half-story Side Hall houses, with a maximum plate height of 23 feet above the finished first floor. Finished first floor may be no higher than 3'-0" above grade. Roof forms of the Main Body must be hipped or a broken gable with a maximum roof pitch of 8 in 12.

House Placement

Houses, including porches, may not encroach beyond the Facade Zone. Houses must have a full-facade porch on the second level facing the ocean, and a central 6 foot by 12 foot entry porch on the ground floor facing north.

Colors

Faded colors, trimmed in shades of off-white; see Section E.

**Inland Lots
(Beach II Lots)**

Main Body Types

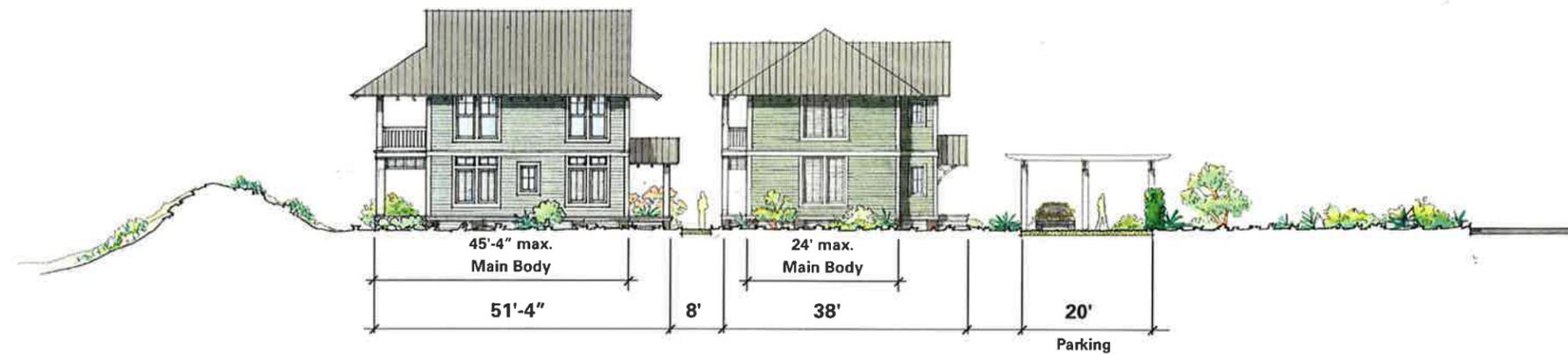
For (B) lots, two- or two-and-one-half-story Center Hall house, with a maximum plate height of 23 feet above the finished first floor. Finished first floor may be no higher than 3'-0" above grade. Roof forms of the Main Body must be hipped or a broken gable with a maximum roof pitch of 8 in 12.

House Placement

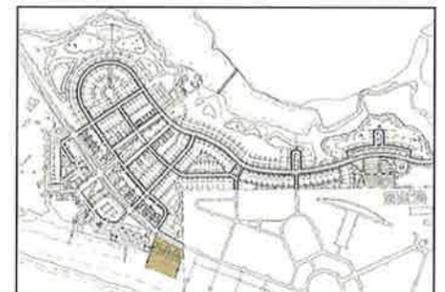
Houses, including porches, may not encroach beyond the Facade Zone. Houses must have a central 20-foot wide porch on the second level facing the ocean.

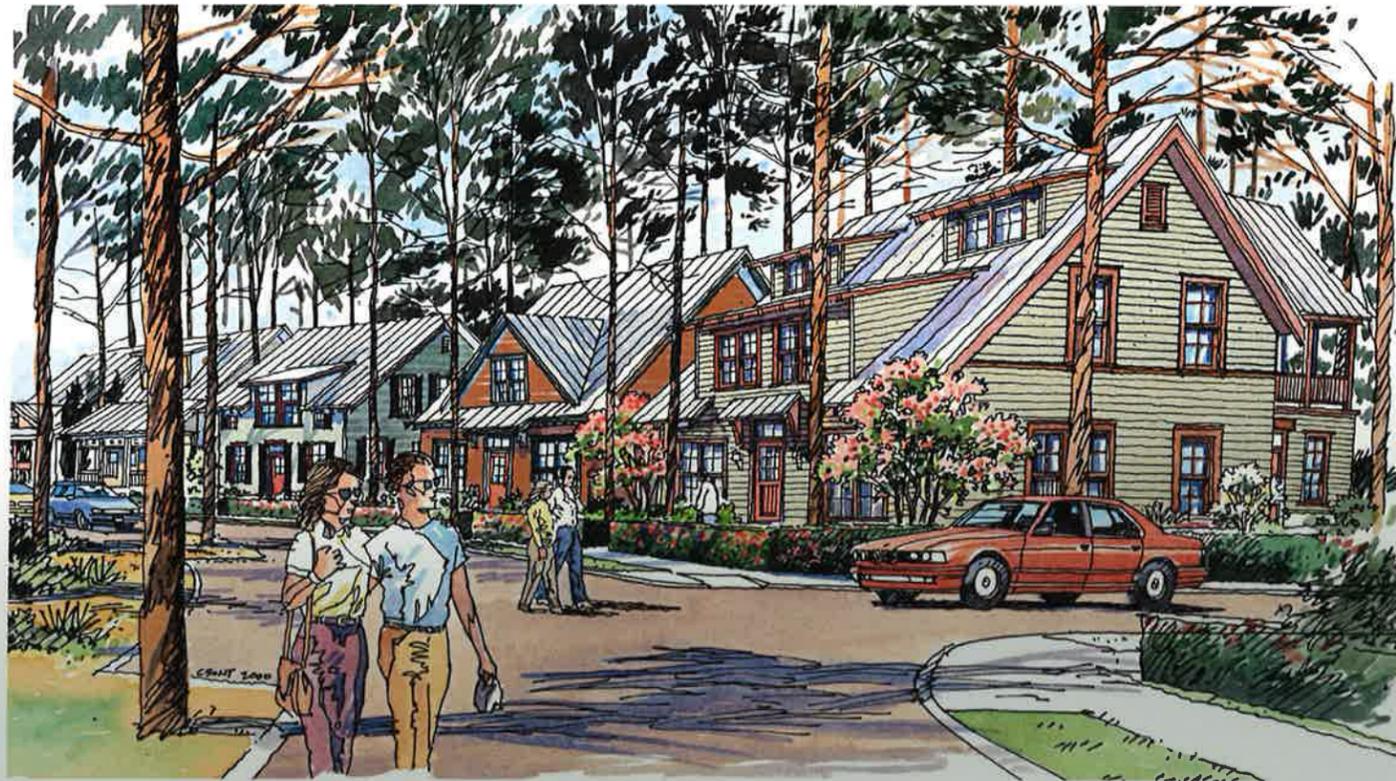
Colors

Faded colors, trimmed in shades of off-white; see Section E.



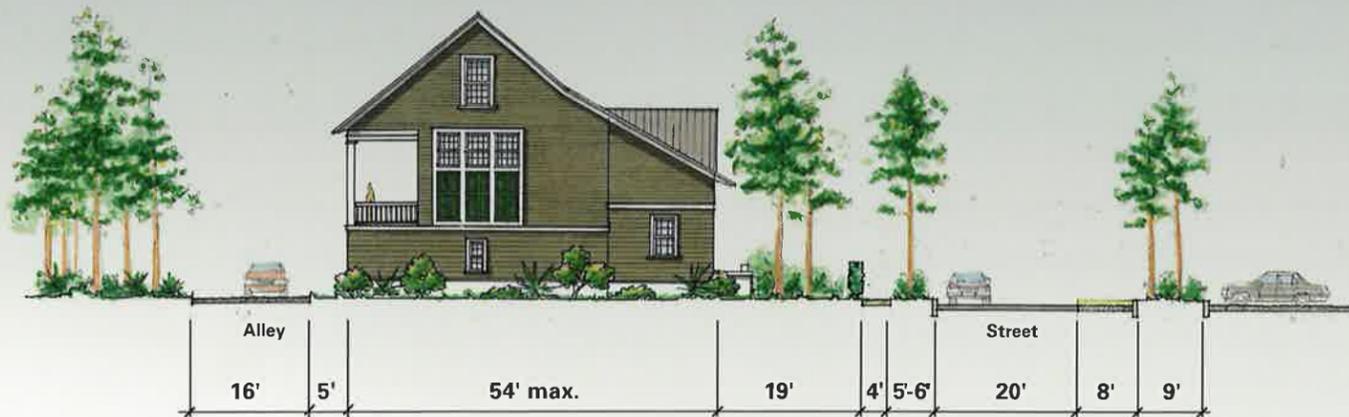
Addresses – Beach Lane





Park Row

The houses on Park Row have low eaves on their street facades to create an intimate scale. Rear porches look over Grayton Beach State Park.



**Park Row
(Park Lots)**

Main Body Types

One- to two-and-one-half story Spraddle-roof Cottages. Eave heights are to be one- or one-half stories on the street facade.

House Placement

The street facade or full-length front porches of all houses are to be built to the Front Yard Setback Line. Small entry stoops may encroach into the Front Yard. Houses, including garages, may not encroach beyond the Facade Zone. Houses must have a full-facade porch on the second level facing Grayton Beach State Park. Cupolas are not permitted on Park Row lots.

Colors

A range of gray and neutral colors, from cool to warm, with trim and special elements in more colorful tones; see Section E.



Addresses – Park Row

SECTION



Architectural Patterns

From *Common Place* by Doug Kelbaugh

Place making “is more of an attitude than a theory. It is an attitude that celebrates and delights in what is different about a place. What makes local architecture local and unique is valued more than what makes it typical and universal ... Perhaps only food is as local ... Architecture can still be rooted in local climate, topography, flora, building materials, building practices, architectural types, cultures, history, and mythology.”



Two recent interpretations of Florida vernacular houses



Two Florida vernacular houses in DeFuniak Springs



Typical Florida vernacular house

History and Character

THE WATERCOLOR HOUSE is based on the vernacular architecture of the Gulf coast. The house type is defined by its principal mass, or main body, and determined by the room arrangement and circulation patterns. The house types that have developed over time are simple rectangular volumes that reflect influences from French and Spanish traditions, Scotch-Irish traditions, traditions brought by settlers via the American upper South, as well as ideas imported from the Caribbean, where Indian and European influences combined to create simple houses that afford good ventilation and ample shade.

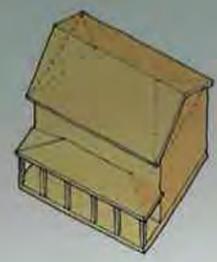
The traditional architecture in this region differs from that of other areas on the Gulf coast in its almost exclusive use of wood as a building material, due to the plentiful supply of timber in the area. The Florida vernacular is a timeless style characterized by vertical proportions, deep roof overhangs and spare use of ornament.

Typical Qualities of the WaterColor House

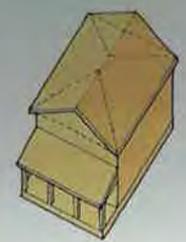
- 1 Simple, straightforward volumes.
- 2 One- or two-story, full-facade and wraparound porches with simple square posts or turned columns.
- 3 Vertically proportioned windows and doors, evenly spaced to reflect the porch bays.
- 4 Wood clapboard or board-and-batten siding.
- 5 Metal roofs with deep overhangs and exposed rafter tails.

The WaterColor House

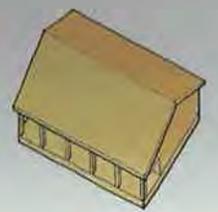
Main Body Massing Diagrams



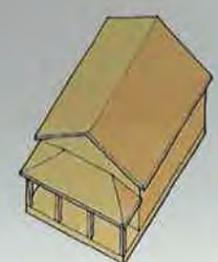
A Center Hall House



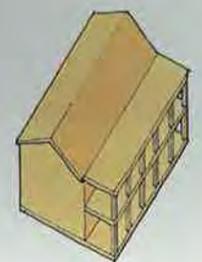
B Side Hall House



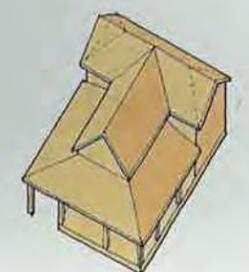
C Creole Cottage



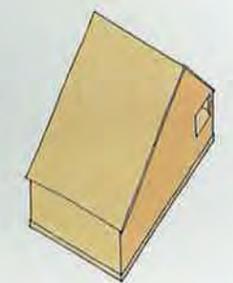
D Single Cottage



E Sideyard House



F T-Shaped House



G Spraddle-roof Cottage

Massing and Composition

Main Body Massing

A Center Hall House

Two-story rectangular volume, with hipped or side-gabled roof, with a maximum width of 60 feet. Hip roof pitch is typically 3 to 6 in 12 and gable roof pitch is typically 8 to 10 in 12. One- or two-story, full-length front porch with hipped or shed roof. Two-story integral front porches are also permitted.

B Side Hall House

Two-story rectangular volume, with hipped or front-gabled roof, with a maximum width of 50 feet. Hip roof pitch is typically 3 to 6 in 12 and gable roof pitch is typically 8 to 10 in 12. One- or two-story, full-length or wraparound front porch with shed or hipped roof. Two-story integral front porches are also permitted.

C Creole Cottage

Side-gabled, one- or one-and-one-half-story rectangular volume with a side-gabled roof, with a maximum width of 35 feet. Roof pitch is typically 8 to 10 in 12. Roof pitch may be broken. Full-length porch with shed or hipped roof. Often, rear wings with a shallower roof pitch are added.

D Single Cottage

One or one-and-one-half story rectangular volume, with hipped or front-gabled roof, with a maximum width of 35 feet. Hipped roof pitch is typically 3 to 6 in 12 and gabled roof pitch is typically 8 to 10 in 12. One-story, full-length or wrapping front porch with shed or hipped roof. Integral front porches are also permitted.

E Sideyard House

Two-story rectangular volume with front-gabled roof, with a maximum width of 22 feet. Gabled roof pitch is typically 8 to 10 in 12. Two-story, full-length side porch with shed or hipped roof or a one-story side porch with a second-floor terrace. Integral two-story side porches are also permitted.

F T-Shaped House

One-and-one-half- or two-story volume, maximum 25 feet wide, with the leg of the 'T' projecting toward the street. Roofs are hipped or front-gabled. The rear volume may be taller than the front projecting volume. Hipped roof pitch is typically 3 to 6 in 12 and gable roof pitch is typically 8 to 10 in 12. One-story wraparound porch with shed or hipped roof.

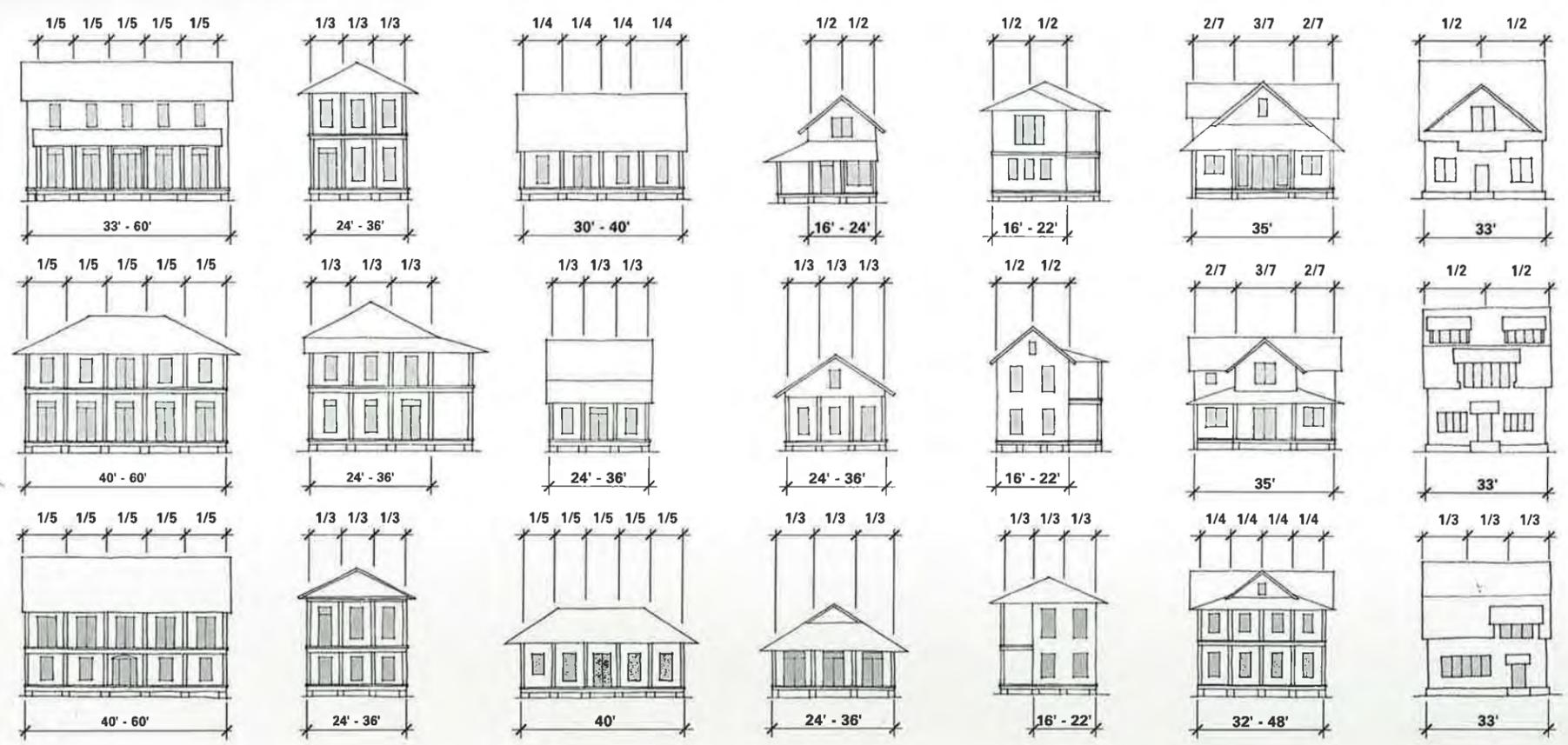
G Spraddle-roof Cottage

Side-gabled rectangular volume with a maximum width of 33 feet and maximum depth of 54 feet. Eave height is two stories on the rear facade and one- or one-and-one-half stories on the street facade. An additional half story may be accommodated in the attic space. Roof pitch is typically 8 to 10 in 12 and may be broken. A full-length second-floor integral porch is required on the rear.

Facade Composition

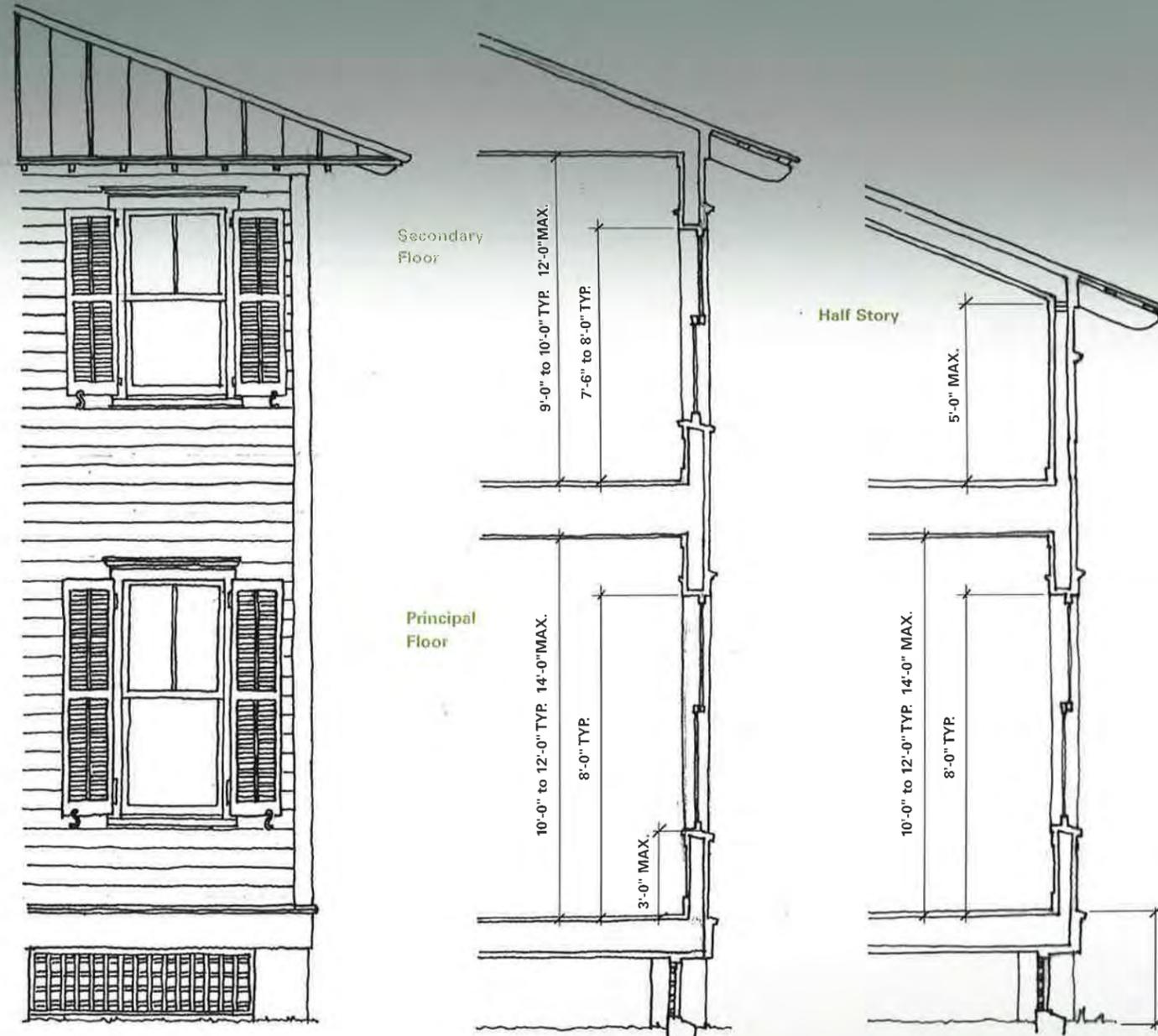
WaterColor facade composition is characterized by a symmetrical and balanced placement of doors and windows in regularly spaced bays that reflect the bays of the porch.

Some Possible Facade Compositions

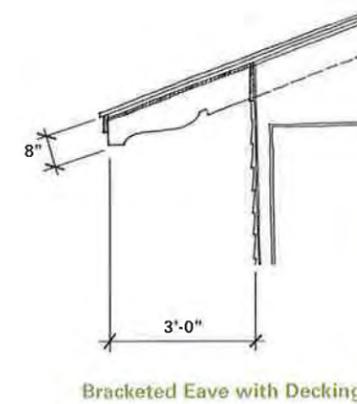
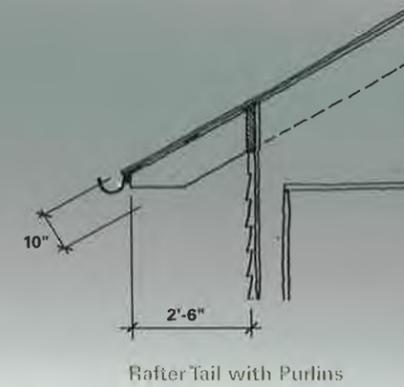


Massing and Composition

Partial Elevation and Section



Eave Examples



2'-6" minimum height at front of house between finished floor and natural grade.

Massing and Key Details

The first floor of the Main Body is typically set 2 feet 6 inches above the finished grade. Foundations are on piers, with crawl spaces screened with lattice or hog fencing.

The floor-to-ceiling height on the principal floor may be 10 to 14 feet. For two-story houses, the floor-to-ceiling height of the secondary floor may be 8 to 12 feet. The principal floor may be located on the second story. Half stories have a maximum height of 5 feet from the floor to an exterior plate, or are contained completely under the primary roof.

The WaterColor House is characterized by tall window proportions and plain trim with very little ornament.

Deep eaves are a dominant characteristic of the WaterColor House. The depth of eaves on the Main Body should be a minimum of 1 foot. The most common eave has exposed rafter tails. Often, there are spaced purlins with no decking between the rafters and the roofing, exposing the underside of the metal roof. In some houses, the eave is constructed with a sloped soffit. Other houses may have brackets supporting the rafter tails.

Combinations

Complex forms and larger living spaces may be created by combining side and/or rear wings with the Main Body. Gabled or shed dormers may be added to introduce light into half-story and attic spaces. The architectural character of the attached parts should match that of the Main Body. Wings must also conform to all setback requirements (see Section B Community Patterns).

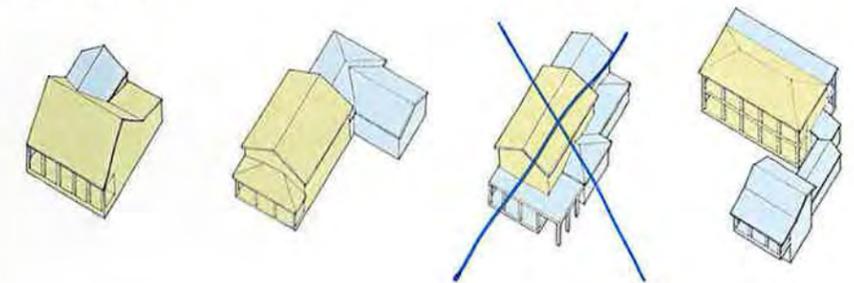


Eave with purlins and exposed metal roofing

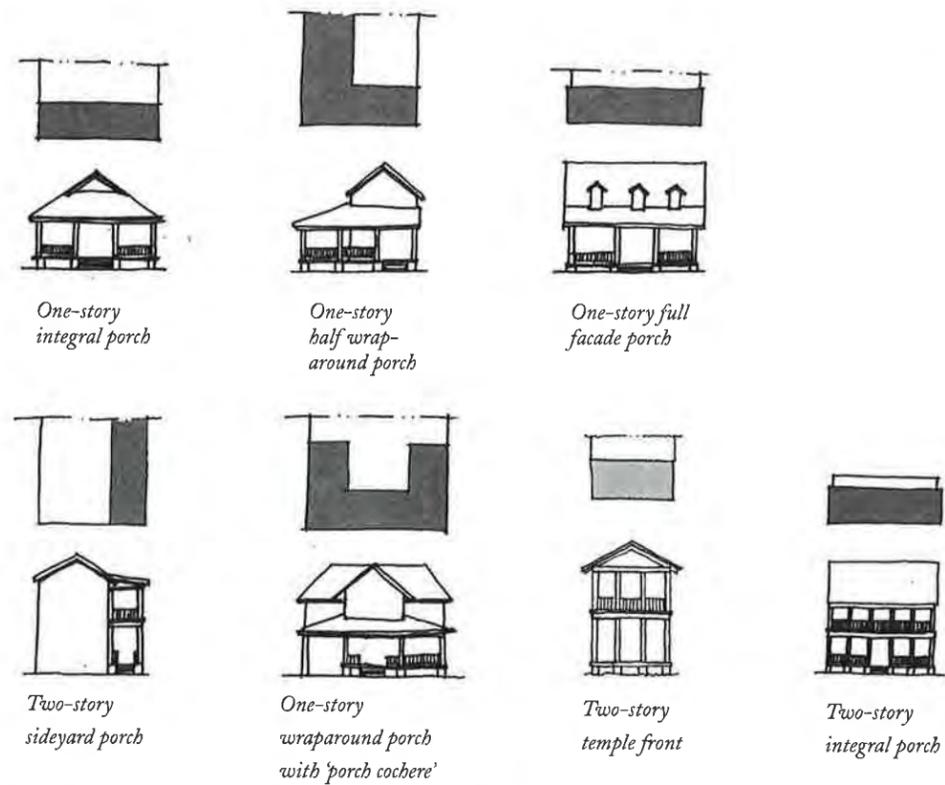


Eave with decking and brackets

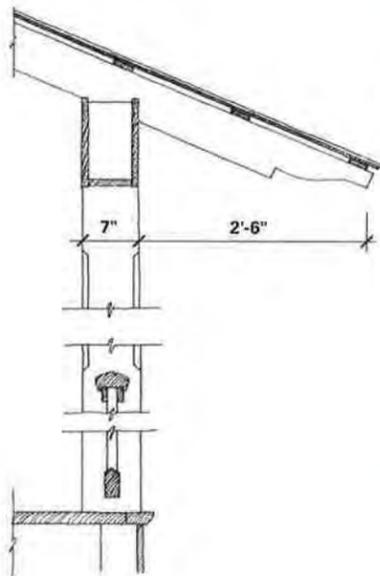
Some Possible Massing Combinations



Massing and Key Details



Typical Porch Detail



Typical porch details

Porches

Porches span the full front facade of the Main Body (side yard facade for Sideyard houses) and are a minimum of 8 feet deep. Wraparound porches are encouraged. Up to one-third of the front porch may be enclosed for additional living space.

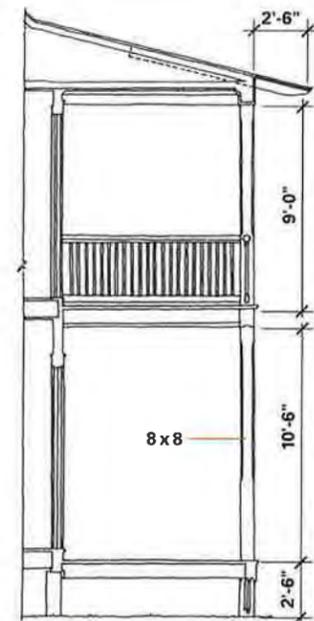
Porches can be one or two stories with either shed gabled or hipped roofs, or integral with the the roof of the Main Body. Flat porch roofs that serve as terraces are also permitted.

Column types include simple square, turned or chamfered square columns of 4 to 8 inches, or square box columns up to 12 inches on major porches. Balusters should be square with tight spacing, or simple cutouts from wide rails. Column heights are typically 9 to 10 feet for the first floor of a two-story porch, and 8 to 9 feet for a single-story porch. The beam is to be the same width as the column.

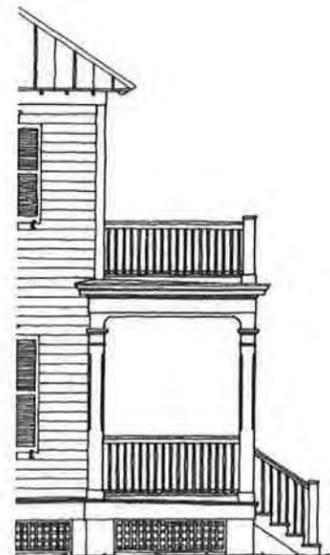
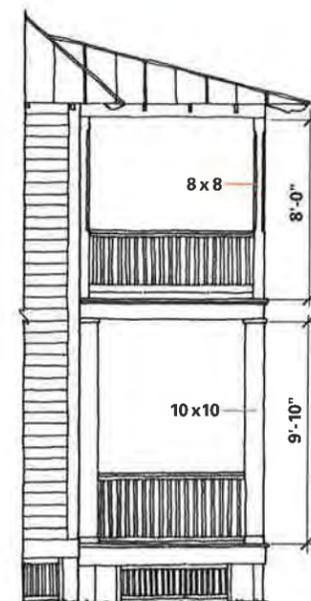


Porch with enclosed bay

Typical Section



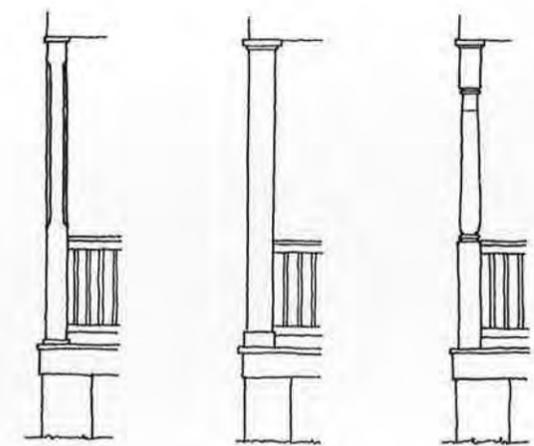
Side Elevations



Partial Front Elevation



Column Types



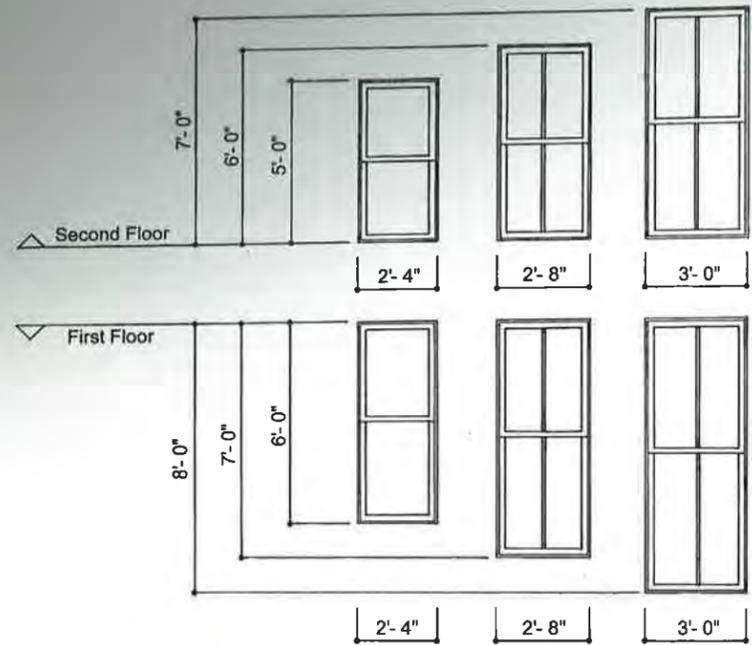
Chamfered Post

Square Boxed

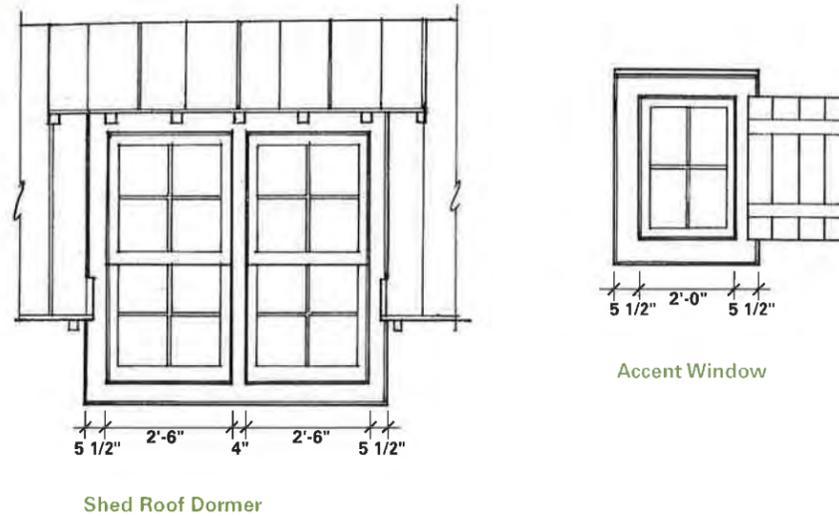
Turned Post

Porches

Standard Windows



Special Window Types



Windows and Doors

Standard Windows

Windows are typically vertical in proportion. Two basic window patterns are 1 over 1 and 2 over 2, double-hung with wide trim. Paired windows are often used. Trim is flat or has a simple band, with simple headers. On the front facade of the principal floor of the Main Body, the sill height may be no more than 3 feet for the majority of the windows.

Special Windows

Special windows include dormers or small rectangular accent windows. Dormers have either shed, hipped or gabled roofs, and rectangular windows.

Standard Doors

Doors are centered in their bays and have either glazing or flat panels. Double doors are often used, as well as single doors with sidelights and transoms.

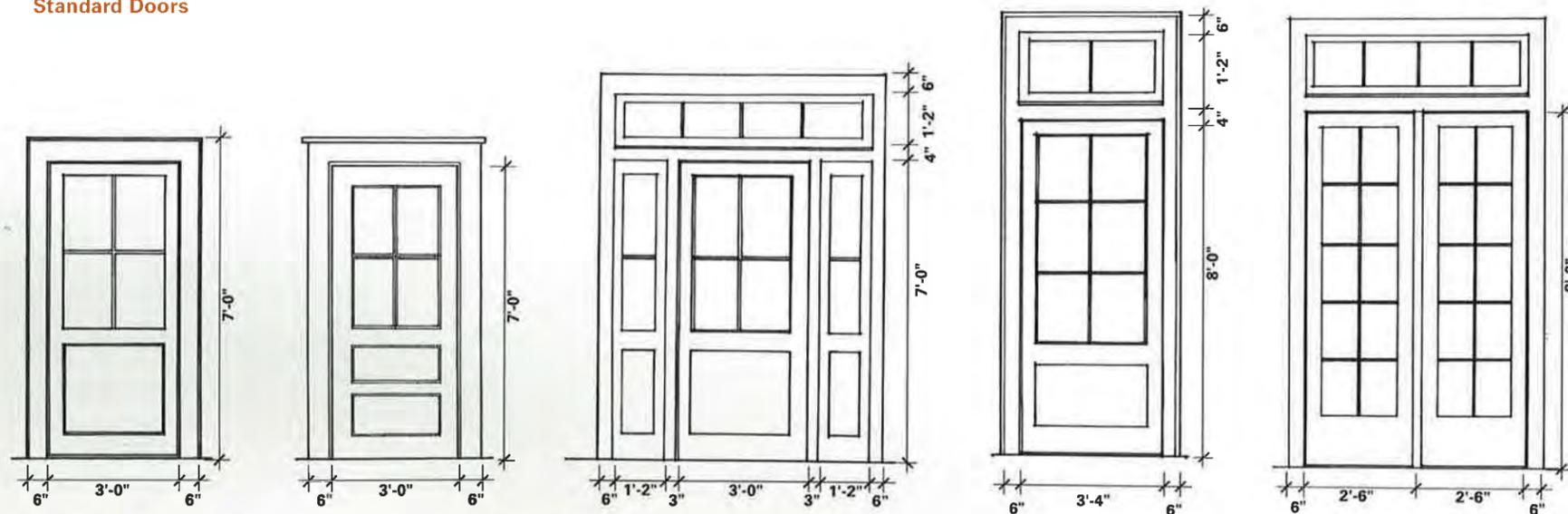
Trim

Windows and doors typically have a 5 1/2-inch-wide flat trim, often edged with a plain band or a simple cap molding.

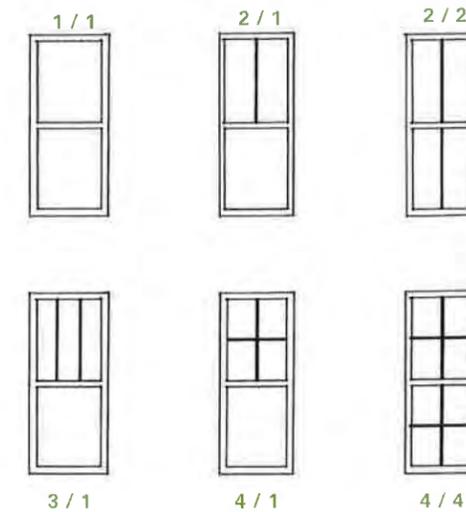
Shutters

Painted, operable shutters are encouraged on single windows. Shutter styles can be louvered or planked. Awning shutters (hinged at the top) are encouraged.

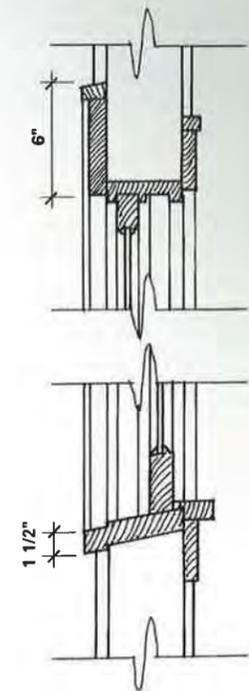
Standard Doors



Window Light Patterns



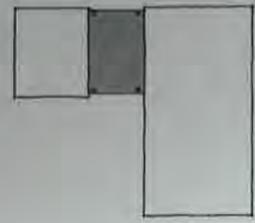
Typical Window Detail



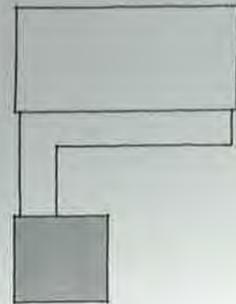
Windows and Doors

Garage and Carport Diagrams

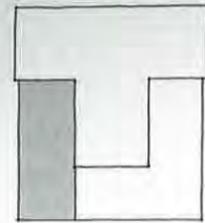
Front-Loaded Lots



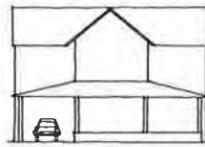
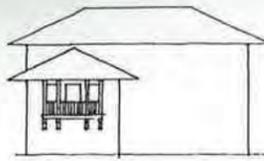
Single-car garage with carport attached to Main Body.



Two-car side-facing garage with second-floor apartment



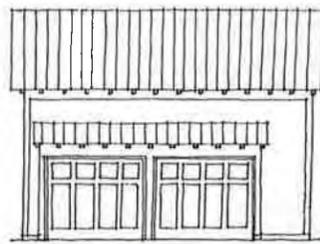
Integral carport



Free-standing carport



Side elevation of a garage designed as an Out Building



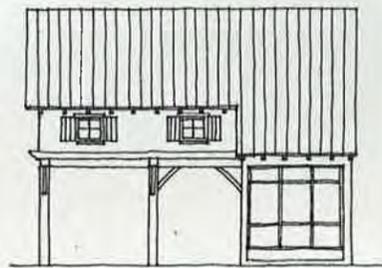
Alley elevation of a garage designed as an Out Building



House with 'porch cochère'



Carriage house with two-car garage



Carport attached to a carriage house

Rear-Loaded Lots



Single carport



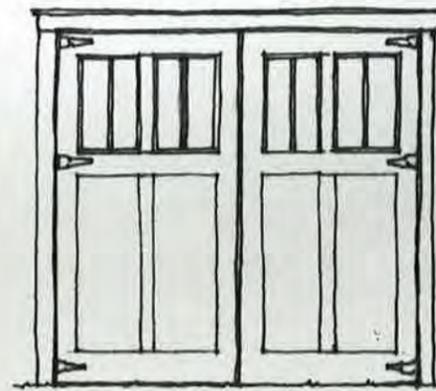
Single-car garage with carport



Single-car garage



Two-car garage



Traditional outswing doors

Parking Structures

Parking structures for cars must be delicately incorporated into the design of the lot. The use of simple gravel areas for parking, with no structure at all, is encouraged, as well as simple carport structures. The impact of a garage structure can be minimized by designing the garage as a carriage house, and including living space above the garage.

It is particularly important to minimize visually the presence of parking structures in the design of Front-Loaded Cottage and Village Lakeview lots, where the parking must be accessed from the front of the lot. On these lots, the use of 'porch cochères', or carports that are designed as extensions of the front porch, is encouraged. These 'porch cochères' allow front-loaded parking to

be quietly accommodated without destroying the public presence of the front facade.

Garages that are placed in the Front Facade Zone must be designed as carriage houses, with living space above, and include porches or balconies. An attached garage should be designed as a carriage house with a distinct roof that is separated from the Main Body by a lower roof. Garage doors may not face the street unless they are placed behind the Front Facade Zone.

Garage doors must be faced with or built of wood, and detailed as traditional outswinging or single-panel doors. Segmented overhead doors are not permitted, unless designed to appear as single-panel outswinging doors.

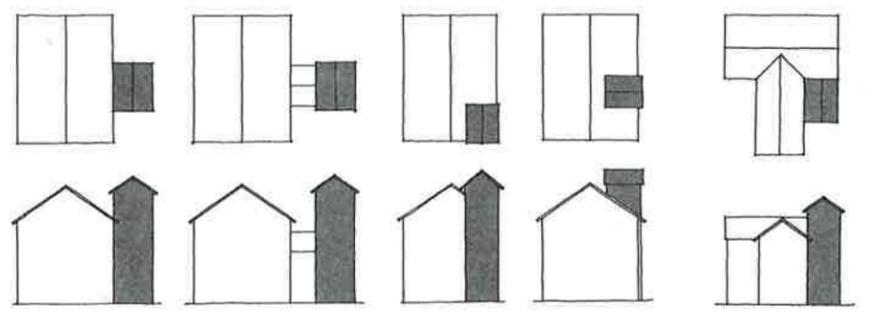


Carriage house with living space above

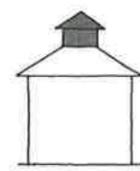
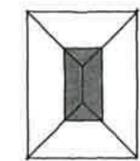


Garage designed as an Out Building with a shed

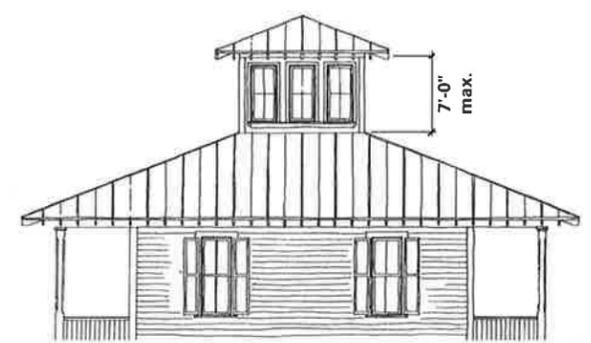
Parking Structures



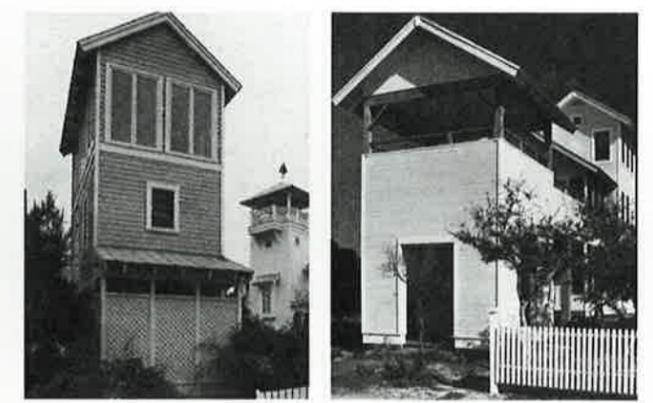
Attached tower Detached tower Corner tower Attached tower T-shape house with attached tower



Cupolas are centered within the Main Body.



The plate height of a cupola may be no more than 7 feet above the highest point of the roof.



Some examples of towers



A cupola on a Creole cottage



A cupola and widow's watch on a Center Hall house

Towers, Cupolas and Widow's Watches

Towers

Towers are allowed only on certain lots, as keyed below. They must be appropriately scaled to the Main Body of the house, and no more than 240 SF. They may not be more than one story taller than the Main Body.

Towers may be located on the sides, rear or corners of the Main Body. They must relate to the composition of the facade of the Main Body, responding to the rhythm of the facade bays. Towers may be completely detached from the Main Body; connected by a wing that is lower in height; directly attached to the Main Body; or embedded within the massing of the Main Body. In all cases, at least one wall of the tower should be expressed on the exterior of the Main Body, reaching to the ground. Houses may not have more than one tower.

Cupolas and Widow's Watches

Cupolas or Widow's Watches may be added to the Main Body of any house. Cupolas and Widow's Watches must be centered within the mass of the Main Body. They may not be larger than one fourth of the footprint of the Main Body, with a plate height that is no more than 7 feet above the highest point of the Main Body roof. The cupola should be appropriately scaled--in general, the larger the cupola is in area, the shorter it should be in height. Houses may not have both a tower and a cupola.



Towers are permitted only on these lots.

Towers, Cupolas and Widow's Watches



Single Cottage



Single Cottage with side wing



One-and-one-half story
Creole Cottage



Spraddle-roof Cottage



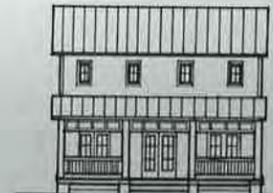
One-and-one-half story
Creole Cottage



One-and-one-half story Single
Cottage with wraparound porch



T-shape House



Center Hall House



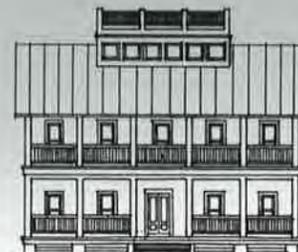
Sideyard House with side wing



Side Hall House with side wing
and 'porch cohere'



Side Hall House with side wing,
'porch cohere' and tower



Center Hall House with widow's
watch



Side Hall House



Center Hall House with carriage
house



Side Hall House with side wings
and wraparound porch



Side Hall House with side wing
and wraparound porch

Materials and Possibilities

Materials

Siding: Wood or fiber cement board drop, flush or lap siding, maximum 12-inch exposure; vertical board with 2x battens; or painted shingles in a simple pattern.

Roofing: Metal or diagonal fiberglass shingles. Metal may be galvanized or mill finish Galvalume or painted; corrugated, 5-V or 8-V crimp or low-profile standing seam. No factory-applied color finishes.

Windows: Wood or clad with the appearance of true-divided lights with clear glass. Minimum 3½-inch wood trim at exterior. Screens framed in wood or clad metal.

Screen Doors: Wood with black or silver screen.

Trim: Wood or fiber cement board.

Columns: Wood 4-inch to 8-inch square, turned or chamfered square posts. Boxed columns up to 12-inch square on major porches. Simple bases and capitals.

Railings: Wood milled top and bottom rails with square-milled wood balusters spaced at 3 to 4 inches on center. Molded and filleted top rail; bottom rail is to be sloped.

Foundation screens: Wood lattice with frames, vertical 1x wood pickets, or hog fencing.

Soffits and Porch Ceiling: Open rafters, tongue and groove decking, or battened plywood.

Gutters: Half-round galvanized gutters, or rain diverter drip edge, with round galvanized downspouts or chains.

Shutters: Board or louvered shutters, mounted with operable hardware. Wood blocks or cast or forged tiebacks.

Foundations: Brick or stucco piers.

Chimneys: Brick, stucco or galvanized pipe; fireplaces to be authentic masonry or similar Isokern-type manufactured unit.

Materials and Possibilities

SECTION



Landscape Patterns

From the *New York Times* editorial "The Allure of Place in a Mobile World,"
15 December 1999

"The biologist E.O. Wilson argues that we still have within us a profound biological orientation toward what he calls 'the right place,' a landscape that evokes the setting of early human evolution. Wilson describes it as 'open, tree-studded land on prominences overlooking water' ... But in modern times, America has become a nation of almost hectic motion. That does not mean we chose the right places to live. We live instead where work takes us and try to make place inconsequential ... In the years to come, a globalized Internet economy may allow some of us to reboot ourselves by freeing us from centralized workplaces. It has already begun to do so. But the electronic e-topia of the Internet, no matter how sophisticated it becomes, offers no real alternative to the values arising from a strong sense of place ... For the human mind requires what Wilson calls a 'beauty and mystery beyond itself.' The beyond that he means is the natural world itself, a place of irreducible localness whose claims upon us cannot be annulled no matter how hard we try."



General Principles

THE UNIQUE AND RARE LANDSCAPE of WaterColor is a source of constant wonder for its residents. Its health and natural diversity can be maintained for the enjoyment of the whole community through respect and care for its plant and animal communities. The particulars of the site – wind, temperature, sea-salt, soil, and, most importantly, water – determine the vegetation that is unique to this coastal landscape. In order to integrate the human community harmoniously with this natural fabric, great care has been taken in creating WaterColor to use, almost exclusively, plants native to the area, to build with historically appropriate and locally available materials, and to conserve and purify water wherever possible.

Each resident can further enhance this wonderful place by embracing this ethic of care. The first and most important step is to respect the unique plant and animal life of the place and to encourage its health. The following landscape principles are meant as guidelines in this ethic of preservation and as a means of contributing to the aesthetic of this special place.

Each lot contains a portion of this wonderful ecological fabric. Therefore, clearing of lots should be kept to an absolute minimum and, when replanting, native plants should be used exclusively (see visual plant palette and plant list on pages D-8 through D-10). Although these plants are different from more standard landscape plants, they are an integral part of what makes WaterColor such a special place. For this reason, WaterColor residents are encouraged to preserve the existing vegetation to the fullest extent possible: from the tall pines and live oaks, to the palmetto and shrub understory, and finally the groundcover layer of flowers and reindeer lichen. As some of the site becomes cleared through natural disturbance and building activity, homeowners are encouraged to replant those areas with the same native plants that define the site. The plant list later in this chapter, coupled with advice from the staff naturalist, can aid in this endeavor.

General Principles



*Gulf Coastal
Dune Scrub*

Gulf Coastal Dune Scrub: Zone of salt-tolerant grasses and dense, mostly evergreen groundcovers, including a wide variety of perennial flowers. Wind and Gulf sea spray sculpt the generally low-growing brush.

GULF COASTAL DUNE SCRUB

- | | |
|-----------------------------------|------------------------|
| <i>Baccharis halimifolia</i> | Saltbush |
| <i>Ceratiola ericoides</i> | Beach Rosemary |
| <i>Chrysopsis pauciflosculosa</i> | Woody Goldenrod |
| <i>Conradina canescens</i> | Conradina (Scrub Mint) |
| <i>Helianthus debilis</i> | Dune Sunflower |
| <i>Ilex vomitoria</i> | Yaupon Holly |
| <i>Ipomoea stolonifera</i> | Beach Morning Glory |
| <i>Limonium carolinianum</i> | Sea Lavender |
| <i>Muhlenbergia capillaris</i> | Muhly Grass |
| <i>Osmanthus americanus</i> | Devil Wood |
| <i>Panicum amarum</i> | Beach Panic Grass |
| <i>Pinus clausa</i> | Sand Pine |
| <i>Quercus chapmanii</i> | Chapman's Oak |
| <i>Quercus myrtifolia</i> | Myrtle Oak |
| <i>Quercus geminata</i> | Sand Live Oak |
| <i>Serenoa repens</i> | Saw Palmetto |
| <i>Spartina patens</i> | Saltmeadow Cordgrass |
| <i>Uniola paniculata</i> | Sea Oats |
| <i>Wisteria frutescens</i> | American Wisteria |
| <i>Yucca smalliana</i> | Yucca |



*Upland
Transitional
Forest*

Upland Transitional Forest: Dry upland zone of sandy soil, with stands of pines and sand live oaks, and an understory of palmettos and other drought-tolerant shrubs.

UPLAND TRANSITIONAL FOREST

- | | |
|-----------------------------------|------------------------|
| <i>Callicarpa americana</i> | Beautyberry |
| <i>Chrysopsis pauciflosculosa</i> | Woody Goldenrod |
| <i>Conradina canescens</i> | Conradina (Scrub Mint) |
| <i>Hypericum reductum</i> | St. John's Wort |
| <i>Ilex vomitoria</i> | Yaupon Holly |
| <i>Pinus elliotii</i> | Slash Pine |
| <i>Pinus palustris</i> | Longleaf Pine |
| <i>Quercus chapmanii</i> | Chapman Oak |
| <i>Quercus geminata</i> | Sand Live Oak |
| <i>Quercus laevis</i> | Turkey Oak |
| <i>Quercus myrtifolia</i> | Myrtle Oak |
| <i>Serenoa repens</i> | Saw Palmetto |
| <i>Vaccinium darrowii</i> | Darrow's Blueberry |
| <i>Vaccinium myrsinites</i> | Shiny Blueberry |



*Lake Edge
Transitional
Forest*

Lake Edge Transitional Forest: A forest zone bordering wetter areas associated with the Western Lake and wetland hammocks. The forest is characterized by groves of pines with intermittent groups of magnolia and live oak.

LAKESIDE EDGE TRANSITIONAL FOREST

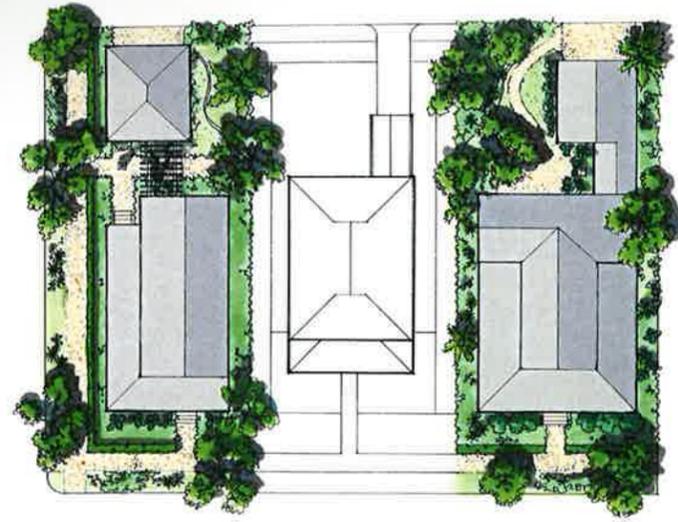
- | | |
|-------------------------------|-------------------|
| <i>Baccharis halimifolia</i> | Saltbush |
| <i>Cliftonia monophylla</i> | Black Titi |
| <i>Cyrilla racemiflora</i> | Titi |
| <i>Ilex cassine</i> | Dahoon Holly |
| <i>Ilex glabra</i> | Inkberry Holly |
| <i>Ilex vomitoria</i> | Yaupon Holly |
| <i>Juncus effusus</i> | Soft Rush |
| <i>Lyonia lucida</i> | Smooth Lyonia |
| <i>Magnolia grandiflora</i> | Southern Magnolia |
| <i>Magnolia virginiana</i> | Sweetbay Magnolia |
| <i>Myrica cerifera</i> | Wax Myrtle |
| <i>Persea borbonia</i> | Red Bay |
| <i>Quercus virginiana</i> | Live Oak |
| <i>Rhododendron austrinum</i> | Florida Azalea |
| <i>Rhododendron viscosum</i> | Swamp Azalea |
| <i>Spartina bakeri</i> | Sand Cordgrass |

Ecological Zones

THE SITE CONSISTS OF ZONES of distinct plant communities and ecologies. In order to protect this unique landscape and animal habitat, care must be taken to preserve and reinforce these distinct zones in the design of residential landscapes. The following is a list of typical plants of each zone that homeowners are encouraged to choose from when selecting plants for their yards. The lists shown to the left are not extensive, but rather highlight typical plants of each zone. For the full list of plants see D-9.



Ecological Zones



Cottage Lots

Front and Side Street Property Lines

Post and rail (with vines) and hedges as specified on page D-5.

Front and Side Street Setbacks

Minimal clearing for path and stoop, and 25% clearing of existing vegetation for garden or gathering area permitted.

For those cottage lots with 20-foot front yard setbacks (see page B-12), one shade tree, minimum 8 feet in height, shall be planted in the front yard unless a significant shade tree already exists.

See the plant lists on pages D-2 and D-9 for recommended tree species.

Front Facade Zone

Maximum of 25% clearing of existing vegetation for pathway or garden and path.

Private Zone

Patios, decks, pools, and gardens are limited to no more than 40% of the area of the entire Private Zone. An appropriately small amount of pruning of shrubs and trees for views and light is permitted. Do not disturb ground cover if possible.

Rear and Side Yard Setbacks

No clearing of existing vegetation is permitted.

Replanting

If more vegetation is cleared through construction activity than is allowed in the clearing guidelines, the homeowner is responsible for replanting the lot with plants from the plant list on pages D-9 and D-10. Homeowners should seek aid and review from the staff naturalist and architectural review board.



Front-Loaded Cottage Lots

Front and Side Street Property Lines

Post and rail (with vines) and hedges as specified on page D-5.

Front and Side Street Setbacks

Minimal clearing for path and stoop, and 25% clearing of existing vegetation for garden or gathering area permitted.

Front Facade Zone

Maximum of 25% of existing vegetation clearing for pathway or garden and path.

Private Zone

Patios, decks, pools, and gardens are limited to no more than 40% of the area of the entire Private Zone. An appropriately small amount of pruning of shrubs and trees for views and light is permitted. Do not disturb ground cover if possible.

Rear and Side Yard Setbacks

No clearing of existing vegetation is permitted.

Replanting

If more vegetation is cleared through construction activity than is allowed in the clearing guidelines, the homeowner is responsible for replanting the lot with plants from the plant list on pages D-9 and D-10. Homeowners should seek aid and review from the staff naturalist and architectural review board.



Sideyard Lots

Front and Side Street Property Lines

Post and rail (with vines) and hedges as specified on page D-5.

Front and Side Street Setbacks

Minimal clearing for path and stoop, and 25% clearing of existing vegetation for garden or gathering area permitted. One shade tree, minimum 8 feet in height, shall be planted in the front or side yard if no significant shade tree is pre-existing. See plant lists on pages D-2 and D-9 for recommended tree species.

Front Facade Zone

Maximum of 25% of existing vegetation clearing for pathway or garden and path.

Private Zone

Patios, decks, pools, and gardens are limited to no more than 50% of the area

of the entire Private Zone. An appropriately small amount of pruning of shrubs and trees for views and light is permitted. Do not disturb ground cover if possible.

Side Yard Setbacks

25% clearing is allowed for paths, gardens and gathering spaces.

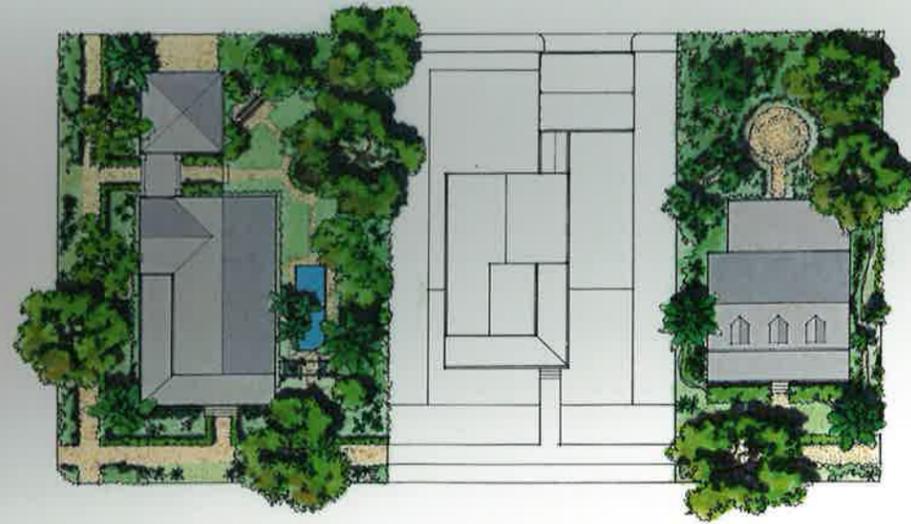
Rear Lane Setbacks

No clearing of existing vegetation is permitted.

Replanting

If more vegetation is cleared through construction activity than is allowed in the clearing guidelines, the homeowner is responsible for replanting the lot with plants from the plant list on pages D-9 and D-10. Homeowners should seek aid and review from the staff naturalist and architectural review board.

Lot Layouts



Village Lots

Front and Side Street Property Lines

Post and rail (with vines) and hedges as specified on page D-5.

Front and Side Street Setbacks

25% clearing of existing vegetation for paths and garden or gathering space.

Front Facade Zone

Only appropriate minimal clearing of ground cover and shrubs is allowed. For Village II lots, one shade tree, minimum 8 feet in height, shall be planted in the Front Facade Zone if no significant shade trees pre-exist. See the plant lists on pages D-2 and D-9 for recommended tree species.

Private Zone

Patios, decks, pools, and gardens are limited to no more than 40% of the area of the entire Private Zone; appropriately minimal pruning of shrub and trees for views and light. Do not clear shrubs or groundcover in the remaining areas.

Rear and Side Yard Setbacks

No clearing of existing vegetation is permitted.

Replanting

If more vegetation is cleared through construction activity than is allowed in

the clearing guidelines, the homeowner is responsible for replanting the lot with plants from the plant list on pages D-9 and D-10. Homeowners should seek aid and review from the staff naturalist and architectural review board.

Lakeview Village Lots

Front and Side Street Property Lines

Post and rail (with vines) and hedges as specified on page D-5.

Front and Side Street Setbacks

25% clearing of existing vegetation for paths and garden or gathering space.

Front Facade Zone

Only appropriate minimal clearing of ground cover and shrubs is allowed. Two shade trees, a minimum of 8 feet in height, shall be planted in the Front Facade Zone if no significant shade trees are pre-existing. See the plant lists on pages D-2 and D-9 for recommended tree species.

Private Zone

Patios, decks, pools, and gardens are limited to no more than 40% of the area of the entire Private Zone. Clearing of shrubs and groundcover is discouraged; minimal pruning of trees and shrubs for views and light is permitted.

Rear Facade Zone

Patios, decks and pools are limited to no more than 25% of the area of the View Facade Zone. Clearing of shrubs and groundcover is discouraged; minimal pruning of trees and shrubs for views and light is permitted.

Rear and Side Yard Setbacks

No clearing of existing vegetation is permitted.

Replanting

If more vegetation is cleared through construction activity than is allowed in the clearing guidelines, the homeowner is responsible for replanting the lot with plants from the plant list on pages D-9 and D-10. Homeowners should seek aid and review from the staff naturalist and architectural review board.

Lot Layouts

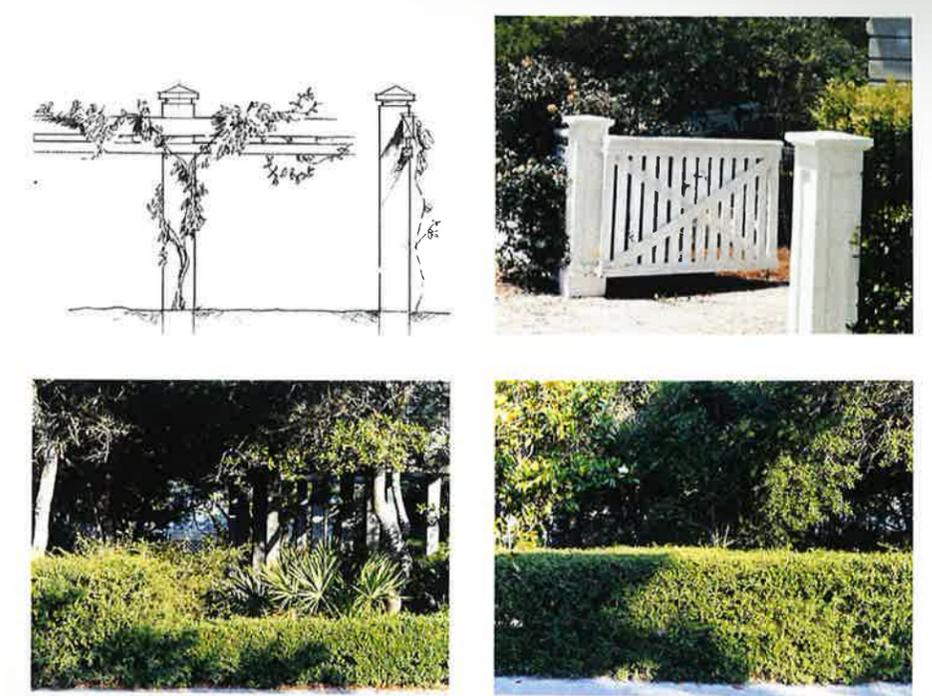


Property Line Articulation

APPROPRIATE RESIDENTIAL LANDSCAPE DESIGN is a crucial component of the character of each Address in WaterColor. The front yard of each lot will be bordered with a hedge or a wooden post-and-rail specific to its location within WaterColor. These hedges and posts-and-rails will create a consistent transition from the street to the yard.

Posts-and-rails and hedges may also be used elsewhere on the lot to enclose gardens or patios or establish other boundaries. Posts-and-rails should be constructed of natural materials, chiefly wood, and be designed in keeping with Southern building and landscape traditions.

Some lots have posts marking entrance-ways between hedges leading into lots. The homeowner is responsible for installing such posts and can get designs for them from the Architectural Review Board.



Property Line Articulation



Structure and Character of the Garden

THE CHARACTER OF A GARDEN is determined by much more than the plants chosen. It is important to start with a desire to preserve and enhance the natural beauty of the site and the native plant species found there. The incorporation of other garden elements then can do much to define its style.

The Use of Water

Reflecting pools, fountains, birdbaths, rills, basins, other types of waterworks are encouraged. Inspiration for the shape and form can be drawn from the crucial role that water plays in this environment and the ways that people use it: think of lakes, ponds, springs, creeks, cisterns, troughs, and irrigation. Fresh water is scarce in this region, therefore conservation methods such as retaining water in catchments or cisterns for later use and the use of drought-tolerant plants is encouraged.

Garden Structures

Trellises, pergolas, arbors, and latticework support vines, espaliered trees and other climbing plants. These can all be used to define spaces within the garden, to frame views, and to underscore entrances, thresholds and pathways. Forms of shelter, such as gazebos or pavilions, can also be employed. All should be designed and built in keeping with Southern building traditions; their character should be as rustic or refined as the immediate setting might dictate.

Wildlife Habitat

Encourage and create wildlife habitat with birdhouses and bat houses, birdbaths, plants that attract birds and other wildlife, and plants chosen especially to attract butterflies and pollinating insects.

Finishing Touches

Urns, pottery, benches, sculpture, and other forms of art ornament the garden. Again, materials should be in keeping with Southern garden traditions: wood, cochina, cast stone, limestone, granite cobbles, and concrete.

Structure and Character of the Garden

Surfaces and Exterior Lighting

Surfaces: Materials and Paving

Choosing materials for garden surfaces is an opportunity for homeowners to express the character of this unique Southern coastal landscape. Paved areas should be kept to an absolute minimum and limited to walks and paths, patios, driveways, and parking areas. In order to minimize paving necessary for driveways, the use of double-track drives, shared drives, and a single drive-way approach to two-car garages are all encouraged.

Pine Straw Mulch is local to this area and is recommended for extensive use, not only as a mulch but also as a general ground cover.

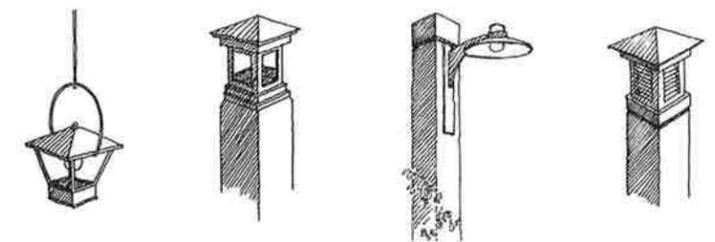
Paving materials may include the following, listed in order of preference:

- 1 Sand and crushed shell, especially for paths;
- 2 Wooden boardwalks, raised slightly above the ground;
- 3 Dry-laid pavers such as brick, concrete pavers, tile, or stone.

Where paved areas are adjacent to the public right-of-way (front loaded driveways, in particular), care should be taken to use materials that are compatible in color to that of the public areas.

Exterior Lighting

Exterior lighting should be kept to a minimum, limited to porches and patios or to mark paths where necessary. Lamps should be low wattage, fixtures should be hooded, and bright spot lights are not allowed. These restrictions aim to reduce light pollution and to minimize, as much as possible, the disturbance to animal habitats. Lanterns and other forms of subdued, indirect lighting of distinct architectural character and interest are encouraged.



Wooden Boardwalk and Pine Straw Mulch



Crushed Shell



Concrete Pavers and Straw Pine Mulch



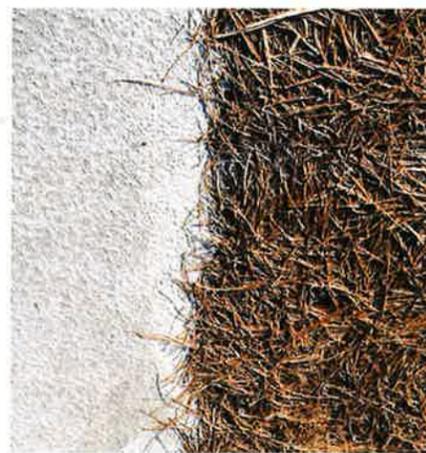
Stone and Gravel



Concrete Pavers



Sand Path and Pine Straw Mulch

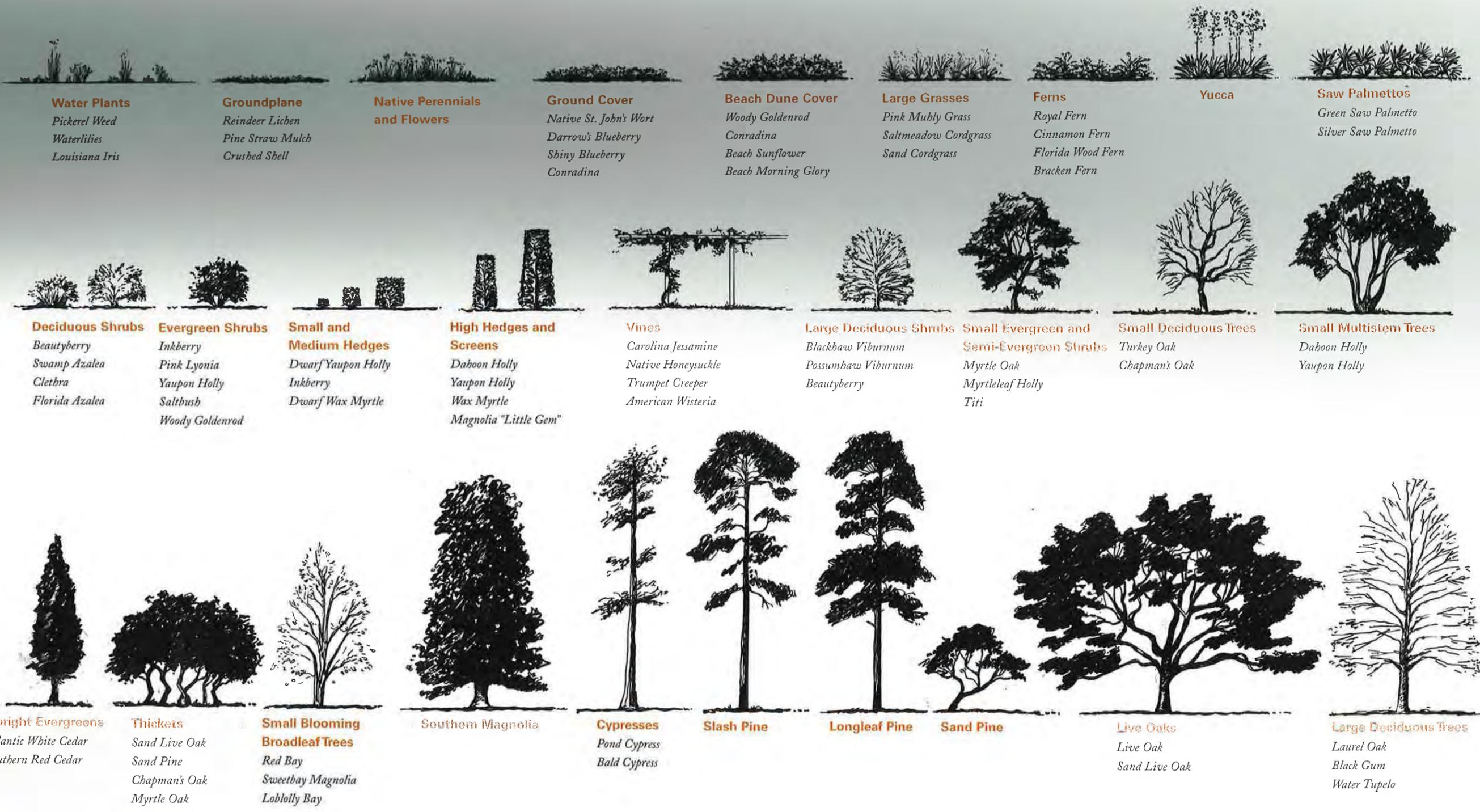


Sand and Pine Straw Mulch



Brick

Surfaces and Exterior Lighting



Water Plants

- Pickrel Weed*
- Waterlilies*
- Louisiana Iris*

Groundplane

- Reindeer Lichen*
- Pine Straw Mulch*
- Crushed Shell*

Native Perennials and Flowers

Ground Cover

- Native St. John's Wort*
- Darrow's Blueberry*
- Shiny Blueberry*
- Conradina*

Beach Dune Cover

- Woody Goldenrod*
- Conradina*
- Beach Sunflower*
- Beach Morning Glory*

Large Grasses

- Pink Muhly Grass*
- Saltmeadow Cordgrass*
- Sand Cordgrass*

Ferns

- Royal Fern*
- Cinnamon Fern*
- Florida Wood Fern*
- Bracken Fern*

Yucca

Saw Palmettos

- Green Saw Palmetto*
- Silver Saw Palmetto*

Deciduous Shrubs

- Beautyberry*
- Swamp Azalea*
- Clethra*
- Florida Azalea*

Evergreen Shrubs

- Inkberry*
- Pink Lyonia*
- Yaupon Holly*
- Saltbush*
- Woody Goldenrod*

Small and Medium Hedges

- Dwarf Yaupon Holly*
- Inkberry*
- Dwarf Wax Myrtle*

High Hedges and Screens

- Daboon Holly*
- Yaupon Holly*
- Wax Myrtle*
- Magnolia "Little Gem"*

Vines

- Carolina Jessamine*
- Native Honeysuckle*
- Trumpet Creeper*
- American Wisteria*

Large Deciduous Shrubs

- Blackhaw Viburnum*
- Possumhaw Viburnum*
- Beautyberry*

Small Evergreen and Semi-Evergreen Shrubs

- Myrtle Oak*
- Myrtleleaf Holly*
- Titi*

Small Deciduous Trees

- Turkey Oak*
- Chapman's Oak*

Small Multistem Trees

- Daboon Holly*
- Yaupon Holly*

Upright Evergreens

- Atlantic White Cedar*
- Southern Red Cedar*

Thickets

- Sand Live Oak*
- Sand Pine*
- Chapman's Oak*
- Myrtle Oak*

Small Blooming Broadleaf Trees

- Red Bay*
- Sweetbay Magnolia*
- Loblolly Bay*

Southern Magnolia

Cypresses

- Pond Cypress*
- Bald Cypress*

Slash Pine

Longleaf Pine

Sand Pine

Live Oaks

- Live Oak*
- Sand Live Oak*

Large Deciduous Trees

- Laurel Oak*
- Black Gum*
- Water Tupelo*

Plant Palette

Large Canopy Shade Trees

- Magnolia grandiflora*
- Pinus elliotii*
- Pinus palustris*
- Quercus geminata*
- Quercus virginiana*

- Southern Magnolia
- Slash Pine
- Longleaf Pine
- Sand Live Oak
- Live Oak

Canopy and Understory Trees

- Chamaecyparis thyoides*
- Gordonia lasianthus*
- Ilex opaca*
- Juniperus silicicola*
- Magnolia virginiana*
- Nyssa sylvatica*
- Persea borbonia*
- Pinus clausa*
- Quercus chapmanii*
- Quercus laevis*
- Quercus nigra*
- Taxodium ascendens*
- Taxodium distichum*

- Atlantic White Cedar
- Loblolly Bay
- American Holly
- Southern Red Cedar
- Sweetbay Magnolia
- Black Gum
- Red Bay
- Sand Pine
- Chapman's Oak
- Turkey Oak
- Water Oak
- Pond Cypress
- Bald Cypress



Hedges

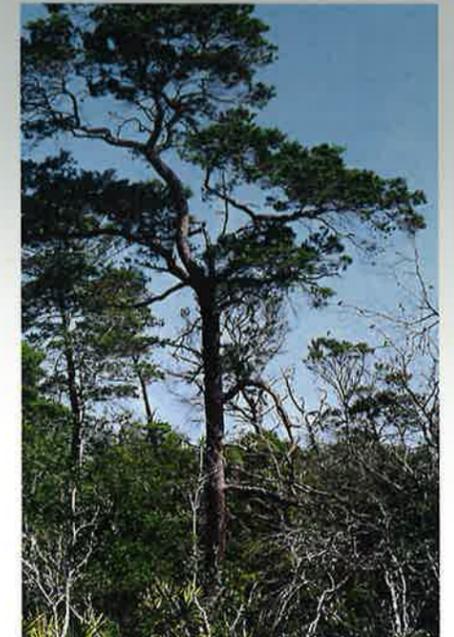
- Ilex cassine*
- Ilex glabra*
- Ilex myrtifolia*
- Ilex vomitoria*
- Ilex vomitoria (Shillings Dwarf)*
- Magnolia grandiflora "Little Gem"*
- Myrica cerifera*
- Quercus myrtifolia*

- Dahoon Holly
- Inkberry Holly
- Myrtle Leaf Holly
- Yaupon Holly
- Dwarf Yaupon Holly
- Southern Magnolia "Little Gem"
- Wax Myrtle
- Myrtle Oak

Other Shrubs

- Amorpha fruticosa*
- Baccharis halimifolia*
- Bumelia lanuginosa*
- Callicarpa americana*
- Cephalanthus occidentalis*
- Ceratiola ericoides*
- Clethra alnifolia*
- Cyrilla racemiflora*
- Erythrina herbacea*
- Ilex myrtifolia*
- Itea virginica*
- Iva frutescens*
- Leucothoe racemosa*
- Lyonia lucida*
- Lyonia ferruginea*
- Osmanthus americanus*
- Rosmarinus officianalis*
- Rhododendron austrinum*
- Rhododendron chapmanii*
- Rhododendron viscosum*
- Rhus copallina*
- Vaccinium darrowii*
- Vaccinium myrsinites*
- Viburnum nudum*
- Viburnum rufidulum*

- Wild Indigo
- Saltbush
- Gum Bumelia
- Beautyberry
- Buttonbush
- Beach Rosemary
- Summersweet
- Titi
- Coral Bean
- Myrtle Dahoon
- Virginia Sweetspire
- Marsh Elder
- Sweetbells
- Shiny Lyonia
- Rusty Lyonia
- Devilwood
- Rosemary
- Florida Azalea
- Chapman's Rhododendron
- Swamp Azalea
- Shining Sumac
- Glaucous Blueberry
- Shiny Blueberry
- Possumhaw
- Rusty Blackhaw



Plant Palette



Groundcover

- * *Chrysoma pauciflora* Woody Goldenrod
- * *Conradina canescens* Conradina (Scrub Mint)
- Helianthus debilis* Dune Sunflower
- * *Hypericum reductum* Atlantic St. John's Wort
- Licania michauxii* Gopher Apple
- Mitchella repens* Partridge Berry
- Opuntia pusilla* Prickly-Pear Cactus
- Osmunda cinnamomea* Cinnamon Fern
- Osmundia regalis* Royal Fern
- Pteridium aquilinum* Brackenfern
- * *Serenoa repens* Saw Palmetto
- Woodwardia virginica* Nettle Chain Fern
- Yucca aloifolia* Spanish Bayonet
- Yucca filamentosa* Beargrass
- Yucca smalliana* Yucca
- Zamia pumila* Coontie

* - recommended ground covers

Grasses

- Andropogon virginicus* Broomsedge
- Aristida stricta* Wire Grass
- Distichlis spicata* Saltgrass
- Juncus effusus* Soft Rush
- Muhlenbergia capillaris* Muhly Grass
- Panicum amarum* Beach Panic Grass
- Spartina bakeri* Sand Cordgrass
- Spartina patens* Saltmeadow Cordgrass
- Uniola paniculata* Sea Oats

Vines

- Ampelopsis arborea* Pepper Bine
- Aster cariolanus* Climbing Aster
- Bignonia capreolata* Cross Vine
- Campsis radicans* Trumpet creeper
- Gelsemium sempervirens* Carolina Jessamine
- Ipomoea stolonifera* Beach Morning Glory
- Lonicera sempervirens* Honeysuckle
- Parthenocissus quinquefolia* Virginia Creeper
- Passiflora incarnata* Maypop
- Pieris phillyreifolia* Pieris
- Rosa palustris* Swamp Rose
- Smilax sp.* Greenbrier
- Trachelospermum jasminoides* Confederate Jasmine
- Vitis rotundifolia* Muscadet Grape



Prohibited or Discouraged Plants

All invasive species, as listed in the State Agricultural List of Florida Invasive Plants, are expressly forbidden; see staff naturalist for further details.

In general, species that are over-used, generic and not evocative of this particular place or region are strongly discouraged. Such species include, but are not limited to, the following: Cabbage Palm, Pittosporum, Oleander, Indian Hawthorne, Ligustrum.

Lawn areas at WaterColor are reserved for civic gathering areas, such as parks and the Village Green; lawn is not allowed on residential lots, not only because of the extensive maintenance and water requirements, but because of the tendency of lawn to make a place generic and indistinguishable.

Plant Palette

SECTION

E

Color Palettes

From *Common Place* by Doug Kelbaugh

“Place making is defined by a sense of place, of nature, of history, of craft and of limits ... It seeks to liberate the prevalent feeling of a location. It is critical of simple-minded or excessive importation of culture from other places. It honors climate, topography, vegetation, building materials and building practices. It prefers local authenticity to sophisticated imitation. That which makes a place unique is worth celebrating and protecting with architecture ... While place-making requires respect for place, it also requires that we not be sentimental about it. It requires that we resist indulging in nostalgia and literally recapturing ‘how sweet it was’ in the old days or the old country. It requires that we have an understanding of what is worthy of both bringing home and returning home for. It may at times be too self-conscious about what is worth preserving about a place, but it cannot be afraid when it is necessary to be bold and visionary about the future.”



General Notes

THE WATERCOLOR COLOR PALETTES illustrate the intended range of color options for the structures in the Phase One development. The colors are organized into three categories: body, trim and shutters. **Body 1** refers to the body of the building, i.e. the siding. Corner boards may also be included as the body color. **Trim 2** refers to all elements other than the body of the building, i.e. columns, rails, fascia, window and door frames, sashes and corner boards if they are not painted the body color. Additionally, a **shutter 3** color option is included. In some cases, the body colors may also be used for the trim colors and, likewise, the trim colors may be used as shutter colors. A limited use of contrasting and/or complementary colors on specially selected trim elements may be used as accents. Other complementary colors not included in these palettes may be used with prior approval by the WaterColor Architectural Review Board.

Each Address in Phase One has a specific color approach, which has been determined by the nature of the structures within the zone (their use, size, materials) and their location with respect to surrounding landscape and buildings.

The color samples presented convey the range of options within each address. Please note that the printing techniques used to produce this Pattern Book cannot accurately reproduce the color sample; the true colors must be viewed at the WaterColor Sales Office.

Final specified colors may be either color-matched to an approved brand of exterior paint, or an equivalent alternate color may be selected with prior approval from the WaterColor Architectural Review Board. All samples are by the Martha Stewart Everyday Collection unless otherwise noted.

Color Palettes

Color Palette – Sunset Ridge and Sunrise Ridge

The outer crescent of houses along Western Lake draw upon the calm, dappled tones of the forested edge and marsh borders of Western Lake for their coloration. These 'inland water-front' houses act as important 'facades' to this other body of water and are visible both from the County Road 30-A causeway and the later phased neighborhoods across the lake. Houses directly fronting the lake are painted cool and muted

tones of green, blue and taupe. Houses across the street, within the crescent, are painted a darker shade of the same colors, reflecting their location deeper within the forest and away from the water's edge. Trim and special elements may be expressed in both darker and more vibrant variations of the base palette.



Color Palette – The Rose Garden Mews

An eclectic mix of cottages around a small and lush neighborhood park embedded at the center of the surrounding crescent is expressed as a rose-colored ensemble. Houses are painted a range of warm and vibrant tones of red, rose, coral and pink.

Trim is expressed in a range of off-whites while special elements may be a dark tone. The neighborhood park is an oasis of flowers and intense green, complementing the vibrant, floral nature of the houses defining the open space.



Color Palettes

Color Palette – Western Lake Drive

Houses along this main residential street, which forms WaterColor's east/west 'Land Axis,' define the public way from the Town Lawn to the community's eastern entrance on County Road 395. Their coloration is elegant and simple, limited to a few colors per house. Siding is painted in a spectrum

of muted tones. Porches and trim are a range of off-white, relating them to the houses along the Town Lawn and the multi-family buildings along County Road 30-A, creating a unified lineal street identity. Special elements are expressed in darker tones.

	<i>F29 – Sea Grass</i>		<i>H25 – Sugar White</i>
	<i>G11 – Granite</i>		<i>H19 – Camellia</i>
	<i>G09 – Dusty Miller</i>		<i>H24 – Butter White</i>
	<i>B11 – Pale Violet</i>		<i>H14 – Buttercream</i>
	<i>B14 – Blue Star</i>		
	<i>G31 – Mercury Glass</i>	Trim* / Shutters (and Masonry Base if applicable)	
	<i>G27 – Quabaug</i>	<i>*Front porches must be a shade of white and do not include base color options.</i>	
	<i>A13 – Peachtree</i>		<i>J&L – French Quarter Green</i>
	<i>A22 – Fountain Grass Pink</i>	Shutters	
	<i>E16 – Corn Silk</i>		

Body

Color Palette – Cottage Districts and Park Row

The cottages along the streets leading from County Road 30-A toward Western Lake Drive are painted in a range of grays and neutrals, from cool to warm. Trim and special elements

are expressed in vibrant, more colorful tones, especially yellows, greens and blues.

	<i>F08 – Cashmere</i>		<i>C05 – French Blue</i>
	<i>F16 – Suede Gray</i>		<i>C21 – Hydrangea Blue</i>
	<i>F24 – Westport Green</i>		<i>A02 – Bee Balm Red</i>
	<i>G01 – Westport Tan</i>		<i>E10 – Sunflower</i>
	<i>H01 – Georgica Beach</i>		<i>E12 – Snapdragon</i>
	<i>H03 – Homespun</i>		<i>E29 – Euphorbia</i>
	<i>G27 – Quabaug</i>		<i>C09 – Fraser Fir</i>
	<i>G12 – Bluestone</i>		<i>G02 – Clay</i>
	<i>G09 – Dusty Miller</i>		<i>F08 – Cashmere</i>
	<i>G31 – Mercury Glass</i>		<i>F03 – Morel</i>

Body and Trim

Shutters

Color Palettes

Color Palette – Tennis Cottages

The five cottages along a green leading from Seaside and the opposite the Tennis Club are painted a range of bright yellow, from pale to vibrant. Trim is expressed in a range of off-white

while special elements may be a dark tone. The Tennis Club is painted a vibrant saffron tone, with off-white trim and dark accents.



Body

E10 – Sunflower

E09 – Aquilegia Yellow

E12 – Snapdragon



Trim / Shutters

H25 – Sugar White

H19 – Camellia

H22 – Vellum



Shutters

J&L – French Quarter Green

Color Palette – Special Places

The protruding cluster of houses flanking a small square located along a major north/south axis, have a heightened palette involving red, russet and darker sand tones which con-

firm their special position and tie into the red park pavilions along Western Lake.



Body

F20 – Coffee

G27 – Tea Bath

H01 – Georgica Beach

H06 – Scone

H07 – Tortilla

H08 – Sandcastle

H23 – Ursa Major

H21 – Wicker White



Trim / Shutters

F08 – Cashmere

C07 – Barn Door Green

A01 – Hollyhock Red

E15 – Oat Straw

H21 – Wicker White

H26 – Daisy White



Shutters

1322 – Benjamin Moore Red

Color Palettes

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