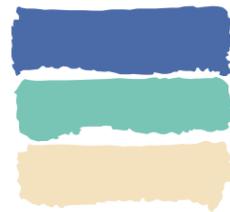


A Guide for the Creation of Phase III



water·color®
A Southern Coastal Landscape.

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* Due to the timing of the Phase IIB lot releases and to simplify this Guide's nomenclature, Pine Crest and Cypress Cove are included in "A Guide for the Creation of Phase III."

Introduction

Phase III continues the traditional patterns found throughout the first two phases of WaterColor. The *Phase III Guide for the Creation of WaterColor* incorporates lessons learned in Phase I and in Phase II to further enhance the quality of life in WaterColor. The goal remains to create a place that preserves the uniqueness of this spectacular locale while developing an authentic community that has an enduring, embraceable character.

The vision of WaterColor's Southern origins, the respect for the existing natural features and the intimate small-town planning are apparent. Distinct identifiable neighborhoods continue to be thoughtfully interwoven with the surrounding native landscape. The ongoing integration of pedestrian oriented neighborhoods and natural paths will further impart an appreciation for the ecologically sound plan. Conservation areas, public spaces and vernacular structures are to once again harmoniously coexist to celebrate and confirm WaterColor's comfortable sense of unity and completeness.

Shaped by and responding to the local environment, new houses shall, as in Phase I and Phase II, also be based on traditional plan forms, materials, architectural details and finishes typical of the American South. Owners and their Architects are encouraged to investigate and develop a deep understanding of the region's vernacular precedents. The intent is to permit Owners to develop within these precedents and parameters a home composition that meets their vision and needs. The WaterColor Design Review Board encourages the development of authentic individual houses that have a unique character, that contain moderately conservative whimsical features and incorporate tasteful elements that reflect the personality and spirit of the original owner. While flexibility and variety are desired for all, the architectural choices shall remain unpretentious, relatively simple and restrained and in accordance with the best traditional Southern residential prototypes.

The *Phase III Guide for the Creation of WaterColor* refers to and is based on the Phase I Guide for the Creation of WaterColor. The text incorporated herein is intended to amplify, clarify and in a few instances amend the requirements described in the original document. The WaterColor Design Review Board extends an open invitation to all Owners and Architects who may want or need more information concerning any aspect of their design. The WaterColor Design Review Board expresses its appreciation for each Owner's and Architect's commitment to help make WaterColor a true and vital community that will provide wonderful experiences and memories for generations to come.

Lot Zone Criteria and Site Plan

See Page A6 and B1 of a Guide for the Creation of WaterColor for further definition and clarification of the zone and setback criteria listed below.

FRONT YARD SETBACK Ten (10) Feet

FRONT FAÇADE ZONE

Twenty (20) Feet. This Zone is the region where the front porch and primary façade of the Main Body are located. The front porch shall be set on the Front Yard Setback line unless an increased setback will preserve significant trees. Lots that can accommodate a carriage house in the front façade zone shall provide a 20' minimum living space as defined in the Phase I Guide (page B6) in order to maintain a lively and social relationship with the street and the community.

SIDE STREET FAÇADE ZONE

Ten (10) Feet. This Zone is the region where the side porch and/or façade of the house are located on a corner lot. Corner houses shall maintain a presence along the full length of the side street façade zone and the house, a parking structure or carriage house shall be located in the side façade zone at the rear.

HOUSE FOOTPRINT

The maximum first floor footprint shall be less than 70% of the site area within the setback lines. The intent of this regulation is to create distinct house bodies and side wings as described in the Phase I guide while also creating desirable exterior spaces that maintain privacy and native vegetation in order to improve the resident's quality of life and contribution to the community as a whole.

SIDE YARD SETBACK

Five (5) Feet for lots with a minimum width less than Fifty (50) Feet
 Seven and one-half (7.5) Feet for lots with a minimum width between Fifty (50) and Sixty-nine and ninety-nine tenths (69.99) Feet
 Ten (10) Feet for lots with a minimum width of Seventy (70) Feet

SIDE STREET SETBACK Ten (10) Feet

SIDE CORNER SETBACK Ten (10) Feet

SIDE ALLEY SETBACK Ten (10) Feet

REAR SETBACK Ten (10) Feet except Five (5) Feet at Alleys

Due to their size, configuration and context some lots may have less restrictive side setbacks.

REAR VIEW FAÇADE ZONE

The Rear View Façade Zone occurs on Lots 11-17 in Oak Grove, Lots 20-28 in Cerulean Landing, Lots 11-35 in Wiregrass Meadows and Lots 1-12 in Vermilion Point. Fronting natural areas and community paths, the Rear View Façade Zone includes the region that is within Twenty (20) Feet of the rear setback line. The total width of the house located in the Rear View Façade Zone in Phase III may be up to Fifty (50) percent of the dimension from side setback to side setback. A porch or porches complying with the applicable porch rules shall be located on each floor of structures in the Rear View Façade Zone.



PHASE III SITE PLAN

- | | |
|---|--|
| ■ PINE CREST | ■ WIREGRASS MEADOWS |
| ■ CYPRESS COVE | ■ SAND HILL |
| ■ SANDY CREEK | ■ LONG LEAF PARK |
| ■ OAK GROVE | ■ VERMILION POINT |
| ■ CERULEAN LANDING | |

House Site Plan Criteria

HOUSE IDENTIFICATION

Front or front and rear address identification in accordance with WaterColor's established construction and graphic standards is required for all houses. All houses shall incorporate the standard WaterColor wooden plaque(s). The numbered wooden plaque is readily available from Boardwalk Signs (850-265-0988). One plaque shall be located to the left of the pedestrian entrance on the standard WaterColor post and rail fence. Houses with front drive entrances are not required to locate a post in the rear. Houses with rear vehicular entrances shall locate an additional post and numbered wooden plaque adjacent to the drive. All temporary house numbers shall be removed when construction is complete.

DOUBLE- LOT STANDARDS

Only perimeter lots overlooking natural areas may be combined when approved by the Developer and the Design Review Board. A combined double lot may not be adjacent to another double lot. Double-lot specifications shall be negotiated with Arvida at the time of purchase. See page B9 in *A Guide for the Creation of WaterColor for Phase I Double-Lot Specifications*.

ENCROACHMENTS

Only uncovered steps, roof overhangs and compressors may be located in the setback areas. Compressor screens and roof overhangs may be no closer than two and one-half (2.5) feet from the property line.

PORCH LOCATIONS

A full façade first floor porch is required on the front façade of all houses. Corner lot houses shall have a minimum 24' wide x 8' deep side street porch. The front porch depth shall count towards the 24' total if the side porch is continuous with the front porch. The front porch depth shall not be counted if two distinct porches are planned. See page C4 in *A Guide for the Creation of WaterColor for further information on Porches*

OUT BUILDINGS AND STORAGE STRUCTURES

Out Buildings and Storage Structures shall be distinct from the Main Body. These structures may be attached to the Main Body by a separate (usually lower) connection. Only lots that are greater than 60' wide are permitted to locate a Carriage House in the Front Façade Zone. When allowed, this Carriage House shall conform to the rules described in the Phase I Guide. Carports are not permitted in the Front Façade Zone. Other lots shall have a typical stacked drive. "Porch Cocheres" as described in the Phase I Guide are encouraged. Carports below carriage houses shall be screened on the open sides to reduce the impact of cars on neighbors and the community. See page D6 in *A Guide for the Creation of WaterColor for further information on The Structure and Character of the Garden*.



Addresses

Pine Crest



HOUSE SIZE

Type A	Lots 22-31
1 to 1-1/2 Stories	
Type B	Lots 3-13, 15-21 and 32
1-1/2 to 2-1/2 Stories	
Type C	Lots 1, 2 14, 33 and 34
2 to 2-1/2 Stories	

HOUSE LOCATION

The Main Body shall be located in the Front Façade Zone. Normally, the house shall be on the front setback line unless significant trees are present.

SECONDARY ELEMENTS

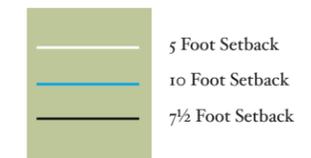
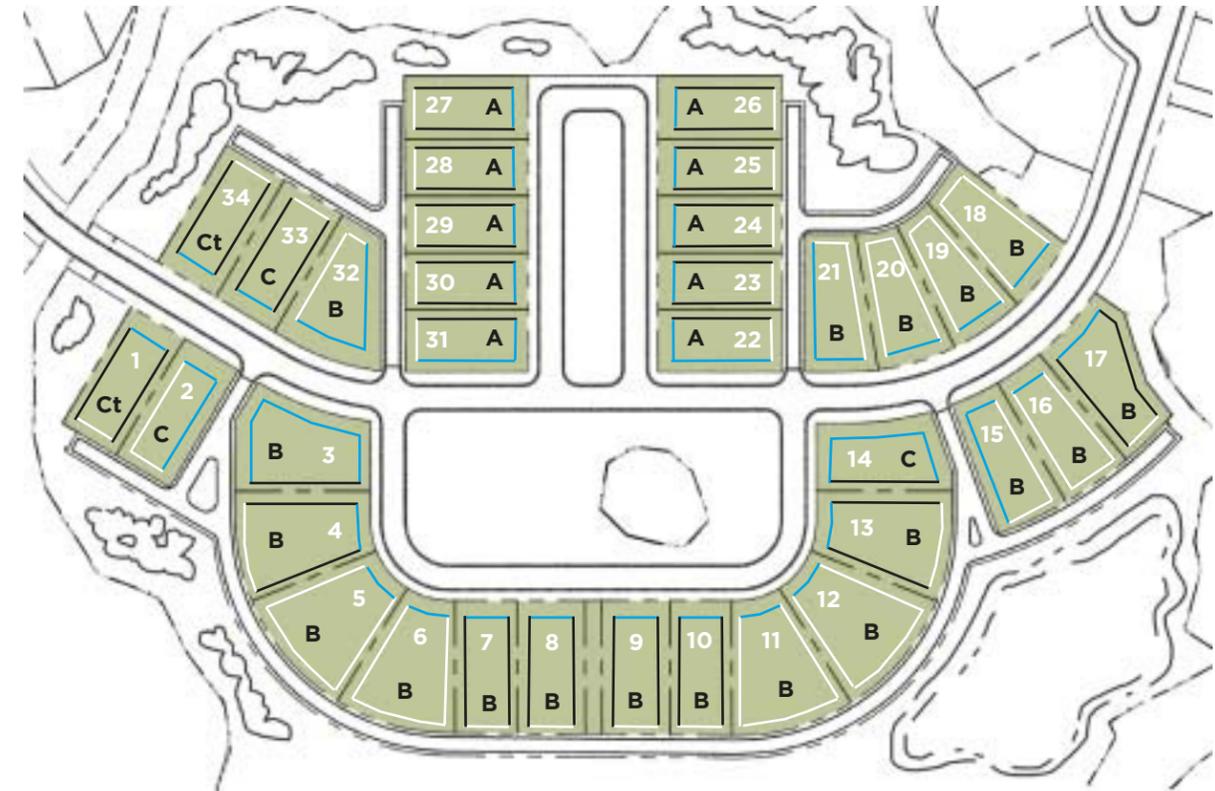
A Tower is vigorously encouraged on Lots 1 and 34.
Cupolas and Widows Walks are permitted on all lots.

COLORS LOTS 1-21 AND 32-34

Pine Crest lots 1-21 and 32-34 main bodies shall be painted muted tones to blend in with the colors found along the lot borders and forest edge. The trim color may be monochromatic, tone on tone or a complementary contrasting color. Stark white trim and windows are not permitted. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

COLORS LOTS 22-31

The main body colors for the ten houses (lots 22-31) on either side of the small square shall all use a special palette of colors based on olives and golden browns. The trim color may be monochromatic, tone on tone or a complementary contrasting color. Stark white trim and windows are not permitted. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.



Addresses

Cypress Cove



HOUSE SIZE

Type A

1 to 1-1/2 Stories Lots 22-35 and 38-42

Type B

1-1/2 to 2-1/2 Stories Lots 1-8, 10-12, 14-21, 37, 43-45, 48-50 and 52

Type C

2 to 2-1/2 Stories Lots 9, 13, 36, 46-47 and 51

HOUSE LOCATION

The Main Body shall be located in the Front Façade Zone. Normally, the house shall be on the front setback line unless significant trees are present. The plan shall present an attractive solution that minimizes the impact from drives and cars.

SECONDARY ELEMENTS

A Tower is vigorously encouraged on Lots 36, 46 and 47

Cupolas and Widows Walks are permitted on all lots.

COLORS LOTS 1-8 AND 36-52

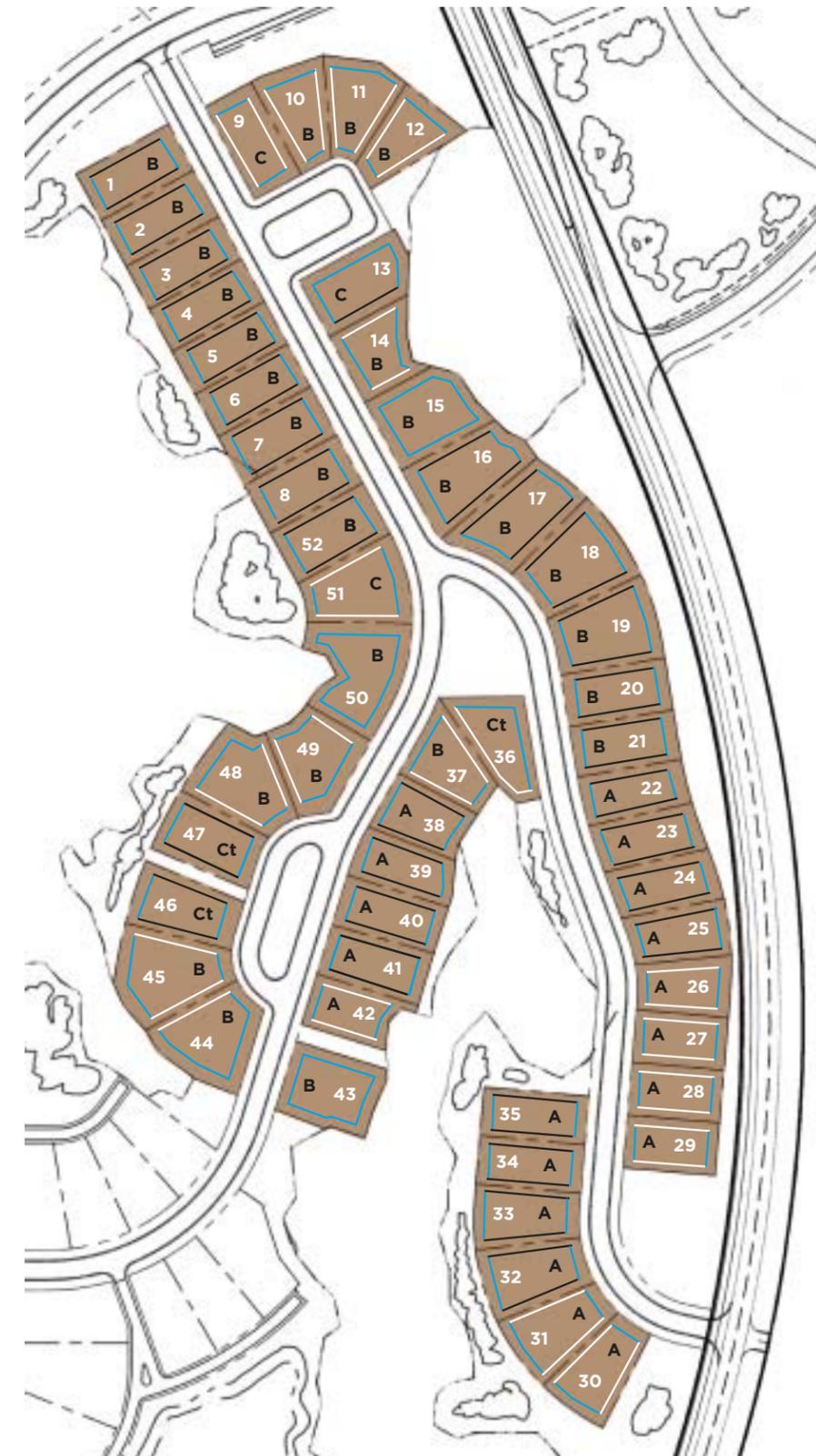
Cypress Cove lots 1-8 and 36-52 main bodies shall be painted with colors that are muted yet lively. The trim color may be monochromatic, tone on tone or a contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

COLORS LOTS 14-35

Cypress Cove lots 14-35 main bodies shall be painted colors that emulate dried soil, twigs and foliage found in the forest. The trim color may be monochromatic, tone on tone or a contrasting color. Stark white trim and windows are not permitted. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

COLORS LOTS 9-13

Cypress Cove lots 9-13 main bodies shall be painted historic neutral colors. The trim color may be monochromatic, tone on tone or a contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.



Addresses

Sandy Creek



HOUSE SIZE

Type B 1-1/2 to 2-1/2 Stories	Lots 2-11 and 14-18
Type C 2 to 2-1/2 Stories	Lots 1, 12-13 and 19

HOUSE LOCATION

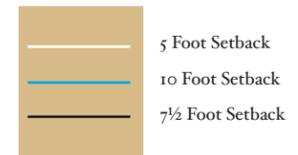
The Main Body on perimeter houses need not be placed in the Front Façade Zone except if a structure is located there it shall comply with the intent of the Front Façade Zone and the plan shall present an attractive solution that minimizes the impact from drives and cars.

SECONDARY ELEMENTS

A Tower is vigorously encouraged on Lots 1, 12, 13 and 19
Cupolas and Widows Walks are permitted on all lots.

COLORS

Sandy Creek main bodies shall be painted muted tones to blend in with the colors found along the lot borders and forest edges. The trim color may be monochromatic, tone on tone or a contrasting color. Stark white trim and windows are not permitted. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.



Addresses

Oak Grove



HOUSE SIZE

Type B
1-1/2 to 2-1/2 Stories Lots 1-10, 12-15, 22-35, 37-56 and 58-76

Type C
2 to 2-1/2 Stories Lots 11, 16-21, 36, and 57

HOUSE LOCATION

The Main Body shall usually be located in the Front Façade Zone. Normally, the house shall be on the front setback line unless significant trees are present. The Main Body on perimeter houses (lots 1-17 and 51-55) need not be placed in the Front Façade Zone except structures located there shall comply with the intent of the Front Façade Zone and the plan shall present an attractive solution that minimizes the impact from drives and cars.

SECONDARY ELEMENTS

A Tower is vigorously encouraged on Lots 11, 18-21, 36 and 57.
Cupolas and Widows Walks are permitted on all lots.

COLORS LOTS 1-17 AND 51-55

Oak Grove lots 1-17 and 51-55 main bodies shall be painted disappearing tones to blend in with the colors found along the lake borders and edges of the forest. The trim color may be monochromatic, tone on tone or a complementary contrasting color. Stark white trim and windows are not permitted. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

COLORS LOTS 22-46 AND 56-76

Oak Grove lots 22-46 and 56-76 main bodies shall be painted with colors that are muted yet lively. The trim color may be monochromatic, tone on tone or a contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

COLORS LOTS 18-21

Oak Grove lots 18-21 main bodies shall form a special district of gray-green colors. The trim color may be monochromatic, tone on tone or a contrasting color. Stark white trim and windows are not permitted. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

COLORS LOTS 47-50

Oak Grove lots 47-50 main bodies shall form a special district of gold colors. The trim color may be monochromatic, tone on tone or a contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.



Addresses

Cerulean Landing



HOUSE SIZE

Type B

1-1/2 to 2-1/2 Stories

Lots 1-2, 5-7, 10-13, 15-23 and 26-32

Type C

2 to 2-1/2 Stories

Lots 3, 4, 8, 9, 14, 24, 25 and 33

HOUSE LOCATION

The Main Body shall usually be located in the Front Façade Zone.

Normally, the house shall be on the front setback line unless significant trees are present. The Main Body on perimeter houses (lots 20-33) need not be placed in the Front Façade Zone except structures located there shall comply with the intent of the Front Façade Zone and the plan shall present an attractive solution that minimizes the impact from drives and cars.

SECONDARY ELEMENTS

A Tower is vigorously encouraged on Lots 24, 25 and 33.

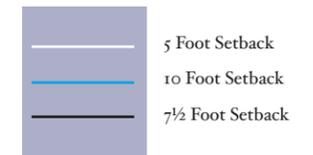
Cupolas and Widows Walks are permitted on all lots.

COLORS LOTS 1-19

Cerulean Landing Lots 1-19 main bodies shall be painted relatively lively colors that signify their presence on the primary community axis. The trim color may be monochromatic, tone on tone or a contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

COLORS LOTS 20-33

Cerulean Landing Lots 20-33 main bodies shall be painted disappearing tones to blend in with the colors found along the lake borders and edges of the forest. The trim color may be monochromatic, tone on tone or a contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors. Stark white trim and windows are not permitted. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.



Addresses

Wiregrass Meadows



HOUSE SIZE

Type B

1-1/2 to 2-1/2 Stories

Lots 1-3, 6-15, 17-23, 25-27 and 30-34

Type C

2 to 2-1/2 Stories

Lots 4, 5, 16, 24, 28, 29, and 35

HOUSE LOCATION

The Main Body shall usually be located in the Front Façade Zone.

Normally, the house shall be on the front setback line unless significant trees are present. The Main Body on perimeter houses (lots 11-24) need not be placed in the Front Façade Zone except structures located there shall comply with the intent of the Front Façade Zone and the plan shall present an attractive solution that minimizes the impact from drives and cars.

SECONDARY ELEMENTS

A Tower is vigorously encouraged on Lots 4, 5, 24, 28 and 29.

Cupolas and Widows Walks are permitted on all lots.

COLORS LOTS 11-24

Wiregrass Meadows lots 11-24 main bodies shall be painted disappearing tones to blend in with the colors found along the lake borders and edges of the forest. The trim color may be monochromatic, tone on tone or a contrasting color. Stark white trim and windows are not permitted. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

COLORS LOTS 1-10 AND 25-35

Wiregrass Meadows lots 1-10 and 25-35 main bodies shall be painted with the dominate colors of nature that exist in the preserve area to the south of Wiregrass Way. The trim color may be monochromatic, tone on tone or a contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.



Addresses

Sand Hill



HOUSE SIZE

Type B

1-1/2 to 2-1/2 Stories

Lots 4-10, 12, 15 and 17-22

Type C

2 to 2-1/2 Stories

Lots 1-3, 11, 13, 14, 16, 23 and 24

HOUSE LOCATION

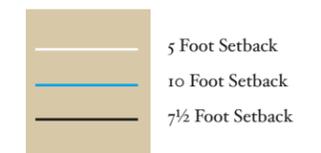
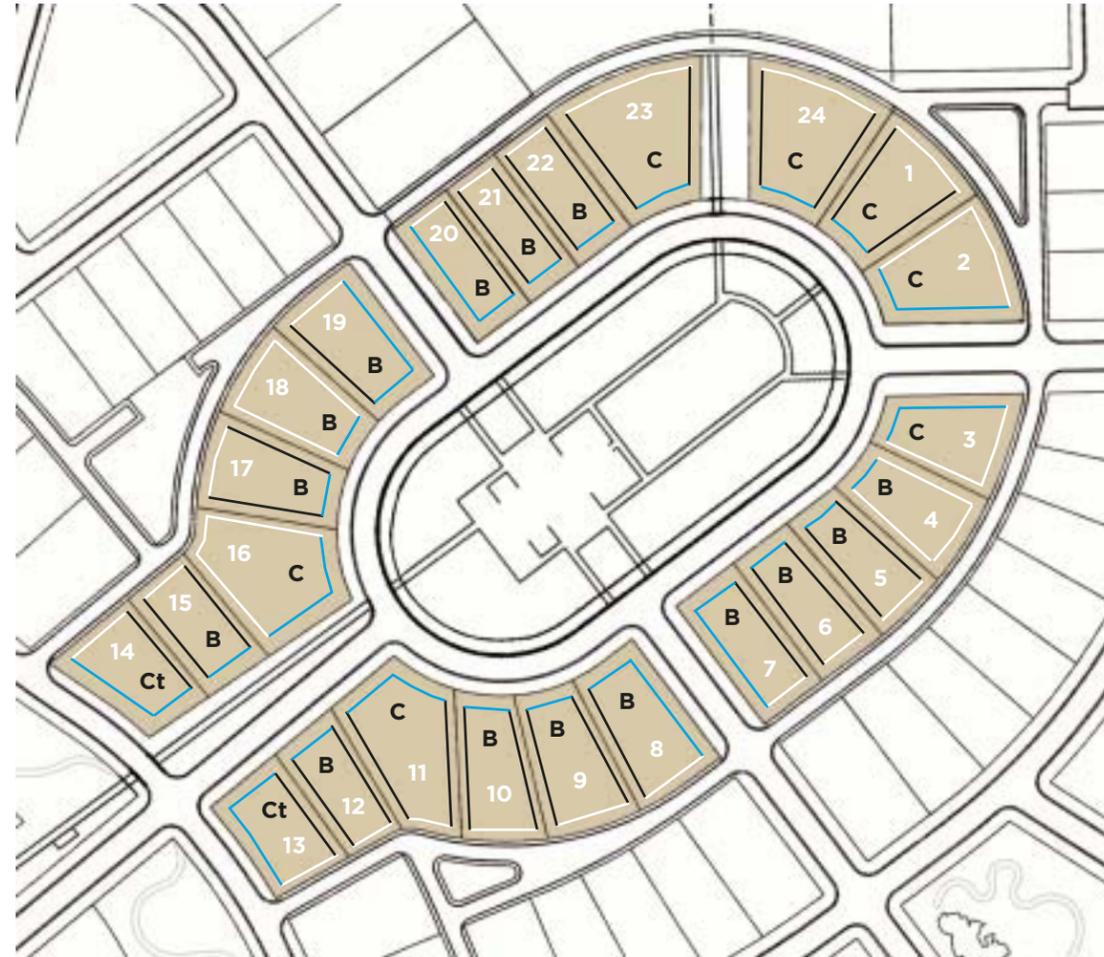
The Main Body shall be located in the Front Façade Zone. Normally, the house shall be on the front setback line unless significant trees are present.

SECONDARY ELEMENTS

A Tower is vigorously encouraged on Lots 13 and 14.
Cupolas and Widows Walks are permitted on all lots.

COLORS

Sand Hill's body colors shall be airy and ethereal to support the festive activities in the park and to signify the addresses importance as the address with WaterColor's highest elevations at the terminal point of the community's axial spine. The trim color may be monochromatic, tone on tone or a contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.



Addresses

Long Leaf Park



HOUSE SIZE

Type A

1 to 1-1/2 Stories

Lots 2-4, 6, 7, 10-12, and 18-21

Type B

1-1/2 to 2-1/2 Stories

Lots 1, 5, 8, 9, 14-16, 17 and 22

HOUSE LOCATION

The Main Body shall be located in the Front Façade Zone. Normally, the house shall be on the front setback line unless significant trees are present. The Main Body on perimeter houses (lots 14-16) need not be placed in the Front Façade Zone except structures located there shall comply with the intent of the Front Façade Zone and the plan shall present an attractive solution that minimizes the impact from drives and cars.

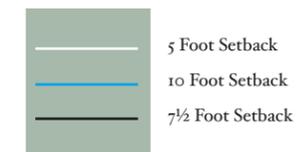
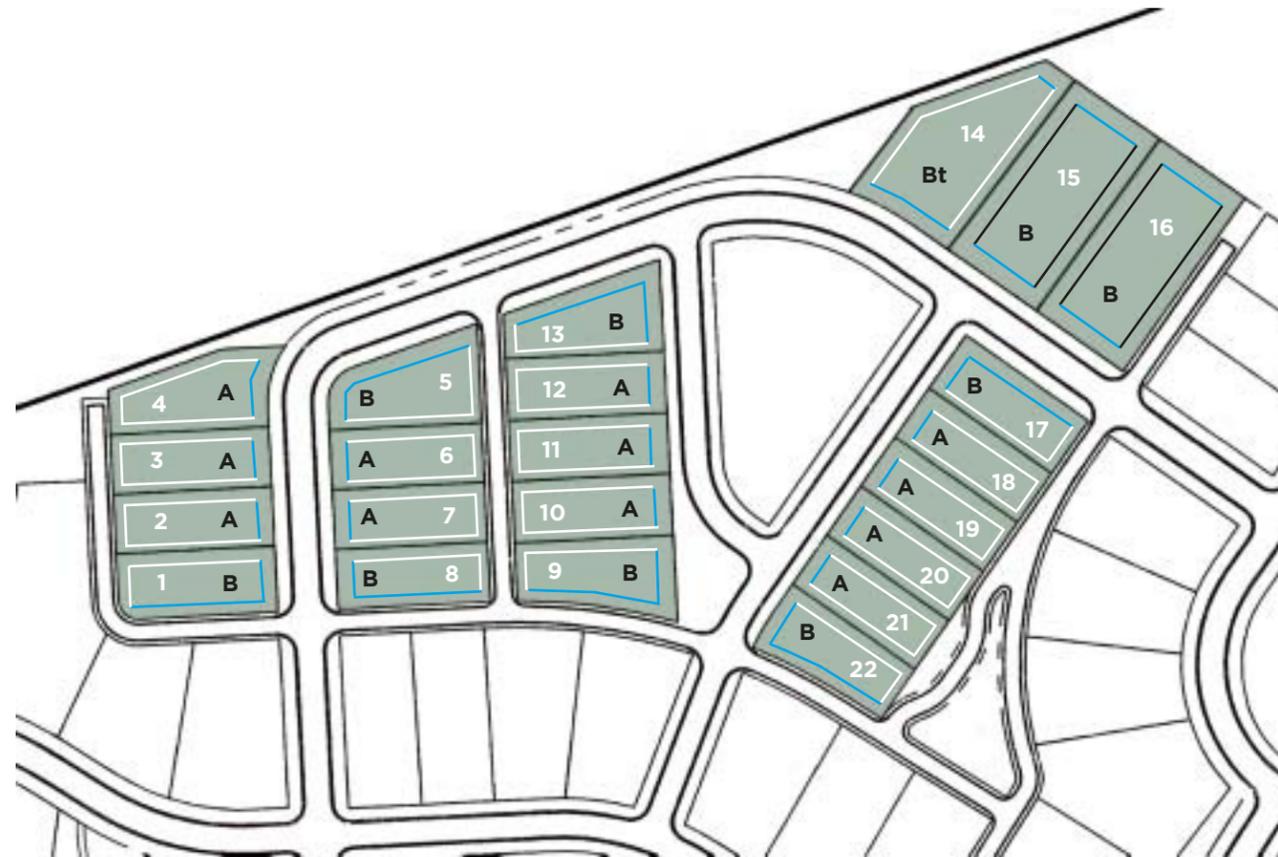
SECONDARY ELEMENTS

A Tower is vigorously encouraged on Lot 14.

Cupolas and Widows Walks are permitted on all lots.

COLORS

Long Leaf Park body colors shall be painted with colors that are muted yet lively. The trim color may be monochromatic, tone on tone or a contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.



Addresses

Vermilion Point



HOUSE SIZE

Type B
1-1/2 to 2-1/2 Stories Lots 1-9, 12-18 and 21

Type C
2 to 2-1/2 Stories Lots 10, 11, 19, 20 and 22

HOUSE LOCATION

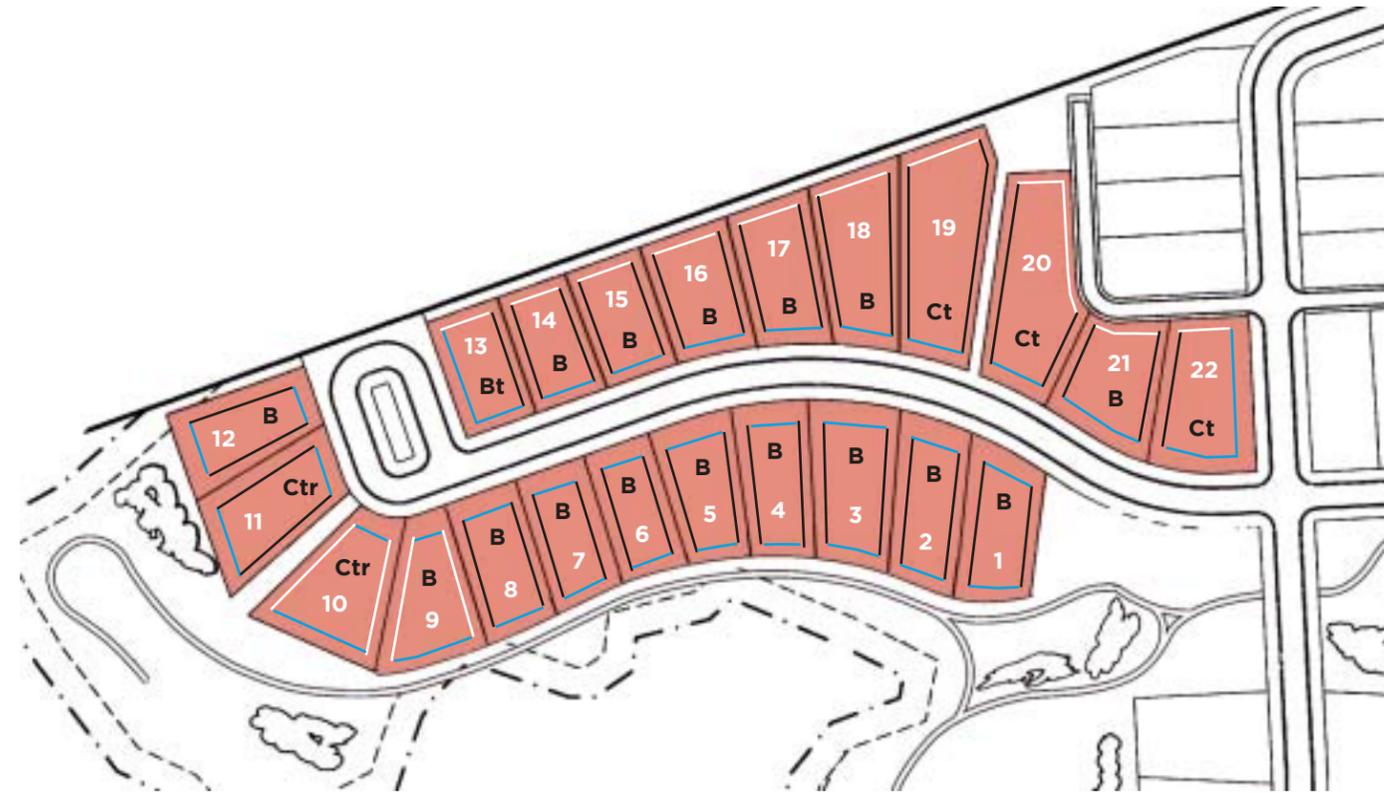
The Main Body shall be located in the Front Façade Zone. Normally, the house shall be on the front setback line unless significant trees are present. The Main Body on perimeter houses (lots 1-19) need not be placed in the Front Façade Zone except structures located there shall comply with the intent of the Front Façade Zone and the plan shall present an attractive solution that minimizes the impact from drives and cars.

SECONDARY ELEMENTS

A Tower is vigorously encouraged on Lots 19, 20 and 22.
A Tower is required on Lots 10 and 11,
Cupolas and Widows Walks are permitted on all lots.

COLORS

Vermilion Point body colors shall be rust tones of the sunset. The trim color may be monochromatic, tone on tone or a subtle contrasting color. High contrast colors are prohibited. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.



The WaterColor House

Refer to Section C Architectural Patterns in *A Guide for the Creation of WaterColor* for the characteristics and details of a typical WaterColor home.

STYLE, CHARACTER AND COMPOSITION

See pages C1, C2 and C8 in *A Guide for the Creation of WaterColor* for precedents and prototypical WaterColor houses.

WaterColor Houses are based on vernacular Southern wood houses. This style is characterized by vertical proportions, deep roof overhangs and spare use of ornament in simple houses that have ample shade and ventilation.

Typical qualities of a WaterColor House are:

- Simple, straightforward volumes

- One or two story, full façade and wrap around porches with simple wood columns

- Vertically proportioned windows and doors evenly spaced and coordinated with the porch bays.

- Wood siding

- Metal roofs with deep overhangs and exposed rafter tails

Aggregate forms and larger spaces may be created by combining side and/or rear wings with the Main Body. Wings shall be distinct from the Main Body. Gable, hip or shed dormers or belvederes may be added to introduce space and light into the half-story attic. The character of the wings and dormers should harmonize with the Main Body and conform to all requirements of the WaterColor Guide.

HEIGHT AND VOLUME

The first floor shall be set between 2-6 to 3-8 above grade.

The floor to ceiling clear space on the principal floor shall be between 9-4 & 14-0.

The floor to ceiling clear space on the secondary floor shall be between 8-0 and 12-0.

Half stories shall be constructed with dormers, cupolas, monitors etc within the attic area. The definition of a half story shown in *A Guide for the Creation of WaterColor* is no longer applicable.

The volumes shall be proportional to the mass of the house. Traditionally, the ceiling height on each floor relates to the functions on each level.

The head height elevations of each floor's openings and the overall height of the openings shall be balanced and in proportion to their respective story.

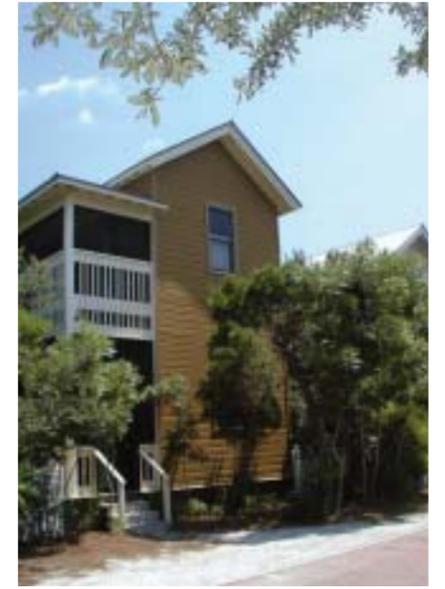
The sill elevation of first floor and principal floor openings shall be less than 3-0 above the floor.



The WaterColor House



The WaterColor House



The WaterColor House

PORCHES AND RAILINGS

See page C4 in *A Guide for the Creation of WaterColor* for typical porch and railing types.

Porches shall usually be located on the front setback line unless trees worth preserving are present. The clear space between columns and siding shall be a minimum of eight feet. Front Façade porches may be screened or partially shuttered. Approximately 32-35% of the first floor front porch may be enclosed with conditioned area. If used on the Front Façade, shutters must be operable between 3-6 and 8-0 minimum and the design shall respect the traditional neighborhood intent to promote a friendly community. Columns shall be simply detailed and shall be in proportion to the height, span and scale of the house. Butt board or T&G board ceilings with or without exposed beams and trim are encouraged. Railings shall be traditional wood with closely spaced members and small openings. Top rails shall be shaped to shed water.



The WaterColor House

PORCHES AND RAILINGS



The WaterColor House

PARKING

See page C4 in *A Guide for the Creation of WaterColor* for typical parking structures.

The impact of cars, trellis screens, carports and garages shall be designed to minimize the impact on all adjacent neighbors and the community. The number of required parking spaces shall relate to the sleeping capacity and number of families that may inhabit the house. Generally, the required number of spaces shall be:

2, 3 or 4 Bedrooms	2 spaces
5 Bedrooms	3 spaces
6 Bedrooms	4 spaces

Houses with a carriage house or two master suites shall require one additional space. Houses adjacent to an alley must locate the vehicular entrance on the alley. The minimum size of a parking space is 8-8 x 18 but architects are encouraged to plan for the large vehicles that are routinely used by owners and guests.

Parking structures shall be built within the setbacks and shall be designed in accordance with the regulations described in *A Guide for the Creation of WaterColor*. Parking buildings within the Front Façade Zone must be a carriage house w/ a living space above. It is important to minimize the presence of parking in the Front Façade Zone. Alley parking pads may use the rear setback area and alley easement. The precise location(s) shall be determined during the design approval process. Parking pads may be located within 3 feet of the side property line. Parking areas are to be screened from the adjacent lot. Attached garages should be designed as a carriage house with a distinct roof that is separated from the Main Body by a lower roof. Garage doors shall be designed for a single car. Garage doors must be paneled and they may incorporate glazing. Garage doors must be wood and shall be detailed to appear as traditional swinging, folding or sliding doors. Segmented doors are permitted only if they are constructed to appear to be one of these traditional door types and are subject to Design Board approval. When possible, it is preferred that garage doors do not directly face primary streets. When approved, garage doors facing the street shall be located thirty feet or more from the front property line.

Garages must remain unlocked and the spaces must be accessible to guests in homes that are listed in the rental program.



The WaterColor House

TOWERS, CUPOLAS, AND WIDOWS WALKS

Refer to page C7 in *A Guide for the Creation of WaterColor* for information and diagrams regarding Towers, Cupolas and Widows Walks.

Where permitted, Towers shall be a maximum of 225 SF and shall be in scale to the Main Body. Their floor plans shall be square or generally square in proportion. Towers may be located on the sides, rear or corners of the Main Body. Towers must relate to the house composition and respond to the rhythm of the façade. Towers may be detached from the Main Body and connected with a lower wing; directly attached to the Main Body or embedded within the Main Body mass. In all cases, at least one wall of the Tower shall be expressed to the ground on the exterior of the Main Body. Exterior balconies are discouraged. When architecturally appropriate, a small balcony may be approved but the exterior functional area shall be in proportion to the Tower and the depth shall be limited to allow either a standing platform or just enough room for a single chair. In no case shall the additional exterior area be planned for social functions. Exterior Tower areas that are within the confines of the Tower and are within the 225 maximum SF are permitted. Tower roofs may extend above the roof ridge by a maximum of 15 feet.

Widows Walks and Cupolas shall be centered within the mass of the Main Body. Widows Walks and Cupolas may not be larger than one fourth of the footprint of the Main Body. Widows Walks and Cupola bearing plates may extend above the roof ridge by a maximum of 7 feet. Widows Walks and Cupolas shall be in scale with the Main Body. Generally, the larger the area of the element, the lower it shall be in height.

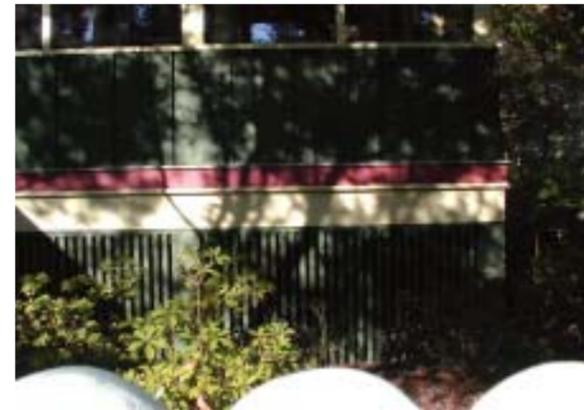
All Towers, Cupolas and Widows Walks shall comply with local code and zoning requirements. Houses may have only one of these elements.



The WaterColor House

FOUNDATIONS

Stucco or brick piers with wood frames made of boards, vertical pickets or perpendicular lattice. Other classic foundations will be considered on a case-by-case basis.



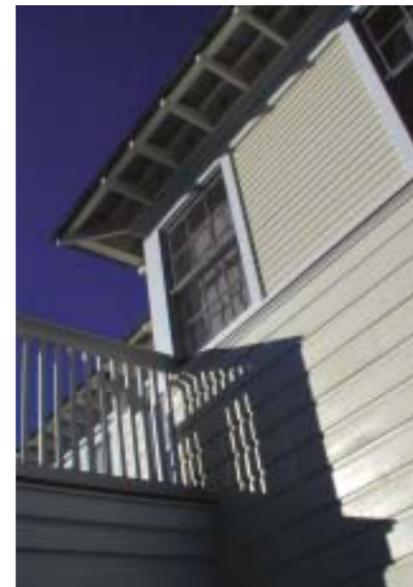
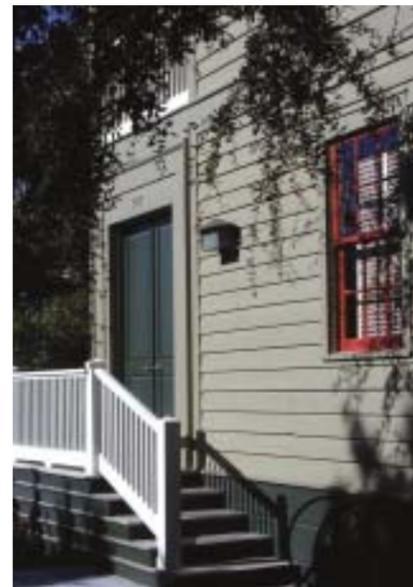
The WaterColor House

SIDING

Wood or fiber-cement boards in lap, flush or drop configuration. Mitered corners shall be constructed of wood. Wood or fiber-cement board and batten siding. Wood or fiber-cement board shingles applied in a simple pattern. Siding shall course to coordinate with the heads and/or jambs of window and door openings. All exterior fasteners shall be fabricated from corrosion resistant materials.

TRIM

Wood or Fiber-Cement Board. The use of wood is highly encouraged. If used, fiber cement boards shall be installed as supplied from the manufacturer. No field cutting of fiber-cement board will be permitted. Trim shall be in proportion to the size of the opening with a minimum width of 3-1/2 inches. Trim shall project a minimum of 1/2" past the leading edge of the adjacent siding. Most trim shall be flat. Any shapes must have a simple profile. Siding must abut trim (trim shall not be installed on top of siding).



The WaterColor House

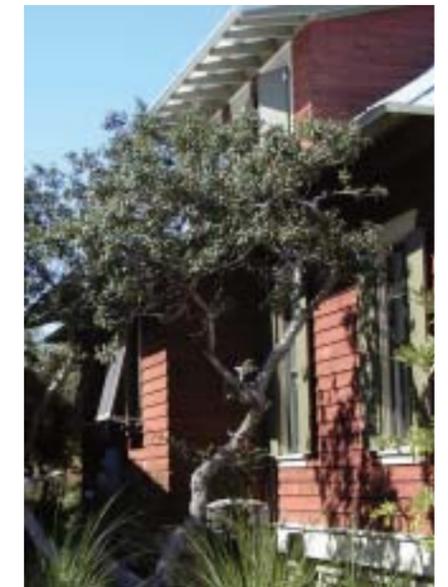
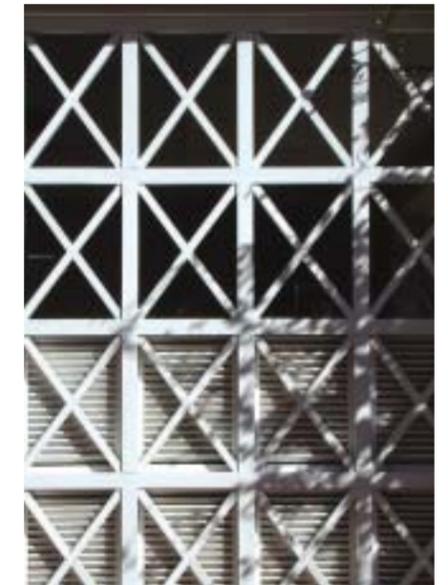
WINDOWS

See page C5 in *A Guide for the Creation of WaterColor* for typical windows.

Windows shall have vertical proportions and plain trim with minimal ornamentation. Windows shall be wood or aluminum clad with the appearance of traditional true-divided clear glass lights. Submit window manufacturer's specifications and color sample for approval.

SHUTTERS

Painted operable shutters are encouraged on single windows. Fiberglass shutters constructed to resemble wood are permitted. Hardware shall be corrosion resistant in a compatible color. Styles may be louvered, paneled or planked and awning shutters are permitted.



The WaterColor House

DOORS

See page C5 in *A Guide for the Creation of WaterColor* for typical doors.

Doors shall be wood or aluminum clad with clear glazing and/or flat panels. Glazing shall have the appearance of true divided lights. Typically centered in the bay, they may have sidelights and/or transoms. Exterior hardware shall be corrosion resistant. Submit door and hardware manufacturers specifications for approval.

In accordance with State of Florida Statutes and WaterColor standards, Owners who want to place their home on the WaterColor Rental Program are required to install the following equipment: fire extinguishers, smoke detectors, latch bolts, emergency lighting, and at least one entry door with at least a 6 inch stile width adjacent to the parking that shall be fitted with a Ving Davinci Mortise Lock. The primary entrance to all carriage houses must also meet this requirement. On private houses, architects are required to use a door in the prescribed location that can accept the Ving lock in order to facilitate future Owners who wish to enter the rental pool. A Microsoft word document of the lock specification can be obtained by email by sending a request to drb@gnt.net. Specifications and requirements for the other rental equipment can be obtained from the WaterColor Rental Program office. The floor plan of all submittals including the permit set are required to show which door(s) can accept the Ving lock. This item is an integral component that must be in compliance before the WaterColor Board can certify that the design is eligible for a letter of final approval for building construction

SCREENS

Screens shall be framed between columns. Screens shall be a uniform synthetic charcoal or gray material. Use of painted metal frames as stops with a replaceable spline is permitted.

RENTAL HOMES

In accordance with State of Florida Statutes and WaterColor standards, Owners who want to place their home on the WaterColor Rental Program are required to install the following equipment:

Fire Extinguishers; Smoke Detectors; Latch Bolts; Emergency Lighting; Card Entry:

At least one entry door adjacent to the parking in each structure shall be fitted with a Ving Davinci Mortise Lock.



The WaterColor House

ROOFS

Refer to page C2 in *A Guide for the Creation of WaterColor* for typical roof shapes and typical roof slopes.

Roofs shall be Galvalume or Galvalume Plus in a 5V crimp, corrugated or low profile (1.25" maximum) standing seam pattern. If a colored roof is specified it shall be painted with an approved preservation coating (no roof panels painted by the manufacturer at the factory may be installed). Eaves may have decking or evenly spaced purlins with exposed roofing.

GUTTERS

Half-circle galvanized, galvalume, copper or other approved metal gutters with circular downspouts or chains. Minimize splices and coordinate joints with the column and rafter rhythms.

FIREPLACES

Fireplaces shall be a traditional wood stove, zero-clearance insert, authentic masonry construction or an Isokern or Superior Clay Rumford unit. Wood stoves and zero-clearance inserts may have galvanized pipe flues braced to meet coastal wind load criteria. Masonry, Isokern and Superior chimneys shall be constructed from brick or stucco on reinforced masonry or concrete. Masonry, Isokern and Superior chimney caps shall be terra cotta or simple stone scaled to fit the chimney. Ventless fireplaces are not recommended but if used, they may be installed only if they do not have an impact on the exterior walls visible by the community.



The WaterColor House

OUT BUILDINGS AND STORAGE STRUCTURES

Out Buildings and Storage Structures shall be distinct from the Main Body. These structures may be attached to the Main Body by a separate (usually lower) connection. Only lots that are greater than 60' wide are permitted to locate a Carriage House in the Front Façade Zone. When allowed, this Carriage House shall conform to the rules described in the Phase I Guide. Carports are not permitted in the Front Façade Zone. Other lots shall have a typical stacked drive. "Porch Cocheres" as described in the Phase I Guide are encouraged. Carports below carriage houses shall be screened on the open sides to reduce the impact of cars on neighbors and the community. See page D6 in *A Guide for the Creation of WaterColor* for further information on The Structure and Character of the Garden.



The WaterColor House

MECHANICAL SCREENS

Compressors, meters and miscellaneous equipment shall be grouped and screened to minimize the impact on neighbors and the community. Screens shall be wood that is compatibly detailed to harmonize with the exterior. Screens shall be supplemented with landscaping to create an additional visual and acoustical buffer. Exposed vents, grilles and other MEP components shall be coordinated with building elements and rhythms. Consider locating the dryer exhaust vent, hose bibs, waterproof outlets etc. below the first floor beam. Conceal these items to the extent possible and coordinate visible items with the foundation piers and screens. Where it is feasible, conceal other vents/grilles etcetera in the eaves.



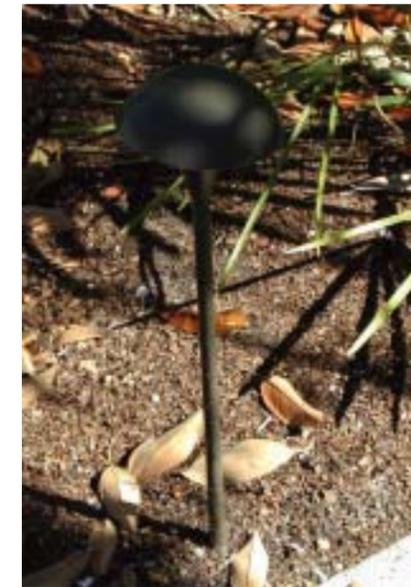
The WaterColor House

EXTERIOR LIGHTING

Exterior lighting shall be kept to a minimum and shall be limited to porches, courtyards and to mark paths where necessary. The intent is to produce an enticing low level throughout the community that creates a warm ambience while maintaining views of the night sky and stars. The light source shall be shielded from view to the greatest extent possible. Bright spotlights are prohibited. Recessed fixtures shall be closed with a Fresnel lens or other appropriate glass diffuser. Globes shall be either uniformly opaque (i.e. frosted, acid etched etc.) or be hand blown with sufficient colonial era bubbles or a significant cage to obscure the lamp. All fixtures with an exposed bulb must use half mirrored lamps with a blacked out bottom or other deflecting and diffusing lamp types and techniques to shield the source of the light. The brightness of any single exterior house light fixture is not to exceed the lumen value of a 30W A bulb. The brightness of any single exterior site light fixture is not to exceed the lumen value of a 20W A bulb. These values shall be reduced if multiple closely spaced fixtures are installed. Refined and subtle fixtures that exhibit an authentic and distinct character are encouraged. All metals shall be corrosion resistant. Specification sheets for all exterior light fixtures shall be shown and included in the record set.

EXTERIOR FANS

All exterior fan housings and blades shall be manufactured from non-corrosive galvanized or brushed nickel materials. Exterior fans must be U.L. rated for wet locations. The exterior fan specification and manufacturer's data sheet shall be submitted for approval in conjunction with the exterior light fixtures.



Color Palettes

Phase III main body colors shall be selected from the list of colors shown for each Address. Color sample cards for each address may be viewed in the Sales Office. The Developer reserves the right to retire colors or amend the palette at any time.

Pinecrest Lots 1-21 & 32-34

2122-40 smoke
 HC-140 prescott green
 2123-40 gossamer blue
 2135-50 soft chinchilla
 HC-146 wedgewood gray
 HC-143 wythe blue
 HC-139 salisbury green
 HC-149 buxton blue
 HC-114 saybrook sage
 2136-50 colorado sky
 2129-50 winter lake
 HC-142 stratton blue
 2122-30 cloudy sky
 HC-17 summerdale gold
 HC-123 kennebunkport green
 HC-22 blair gold
 2135-40 province blue
 2148-30 military tan
 2152-30 autumn gold
 2143-30 olive branch
 2123-30 sea star
 2144-30 rosemary sprig
 HC-145 van courtland blue
 2102-40 brown teepee
 AC-23 jame river gray
 HC-113 louisburg green
 2100-40 appalachian spring
 2107-40 driftwood
 2165-30 golden retriever
 AC-17 sea pine
 2099-40 autumn brown
 HC-16 livingston gold
 2109-40 smoked oyster
 2136-40 aegean teal
 2160-10 caramel corn
 AC-20 mountain laurel
 HC-161 templeton gray
 2148-20 thyme
 2144-20 eucalyptus leaf
 2123-20 caribbean teal
 AC-24 charlotte slate
 HC-122 great barrington green
 HC-112 tate olive
 HC-126 avon green
 HC-125 cushing green
 HC-124 caldwell green
 2100-30 english brown
 AC-21 silver pine
 2097-30 hedgehog brown

2135-30 nocturnal gray
 HC-121 peale green
 2101-30 warm brownie
 2102-30 pueblo brown
 HC-160 knoxville gray
 2104-30 harvest brown
 2111-30 mustang
 HC-65 hadley red
 2142-10 mediterranean olive
 2103-30 peatmoss
 2108-30 brown horse
 HC-68 middlebury brown
 2102-20 pumpernickel
 2109-30 wood grain brown
 2112-30 stone brown
 HC-70 van buren brown
 2141-10 artichoke
 2112-10 mink
 2143-40 camouflage
 HC-83 grant beige
 HC-90 crown point sand
 HC-80 bleaker beige
 AC-1 coastal fog
 2108-50 silver fox
 2137-50 sea haze
 HC-82 bennington gray
 2111-50 stone harbor
 HC-95 sag harbor gray
 HC-79 greenbrier beige
 HC-108 sandy hook gray
 HC-91 danville tan
 HC-21 huntington beige
 HC-102 clarksville gray
 AC-2 berkshire beige
 HC-98 providence olive
 HC-105 rockport gray
 2142-40 dry sage
 Exterior Ready Mixed briarwood
 HC-89 northampton putty
 HC-94 old salem gray
 HC-107 gettysburg gray
 HC-77 alexandria beige
 2141-40 creekside green
 2140-40 storm cloud gray
 2108-40 stardust
 HC-110 wethersfield moss
 HC-97 hancock gray
 2111-40 taos taupe
 HC-86 kingsport gray
 2138-40 carolina gull

2137-40 desert twilight
 HC-104 copley gray
 HC-101 hampshire gray
 HC-168 chelsea gray
 2143-20 alligator green
 HC-109 sussex green
 HC-106 crownsville gray
 AC-3 texas leather
 HC-103 cromwell gray
 HC-100 gloucester sage
 HC-85 fairview taupe
 2142-30 mountain moss
 2139-30 sharkskin
 2141-30 army green
 2143-10 sage
 2140-30 dark olive
 2138-30 mohegan sage
 2142-20 turtle green
 2141-20 cabbage patch
 2137-20 char brown
 2139-20 dakota woods green
 2138-20 green grove
 2140-20 tuscanly green

Pinecrest Lots 22-31

2146-10 dark celery
 2146-20 forest moss
 2146-30 split pea
 2147-20 olive moss
 2147-30 jalepeno pepper
 2150-10 willow green
 2150-20 lichen green
 2150-30 savannah green
 2151-10 mustard olive
 2151-20 golden chalice
 2151-30 ochre
 2152-10 medieval gold
 2152-20 aztec yellow

Cypress Cove Lots 1-8 & 36-52

HC-4 hawthorne yellow
 2150-50 hampton green
 HC-2 beacon hill damask
 HC-117 hancock green
 HC-1 castleton mist
 HC-120 van alen green
 HC-144 palladian blue
 HC-147 woodlawn blue
 2166-50 creamy orange
 HC-119 kittery point green

2145-40 fernwood green
 HC-116 guilford green
 2167-40 toffee orange
 2159-40 amber waves
 HC-52 ansonia peach
 2160-40 roasted sesame seed
 2156-40 august morning
 2166-40 soft pumpkin
 2128-40 oxford gray
 HC-129 southfield green
 2154-30 buttercup
 2159-30 apple crisp
 2145-30 brookside moss
 2158-30 delightful golden
 2151-30 ochre
 2167-30 harvest moon
 2170-30 autumn cover
 2118-40 sea life
 2154-20 spicy mustard
 2089-30 pink mix
 2157-20 golden harvest
 2088-40 persimmon
 2159-20 peanut butter
 2089-20 rosy peach
 2145-20 terrapin green
 2006-30 rosy apple
 HC-62 somerville red
 2006-20 sangria
 2175-30 rust
 2174-30 sedona clay
 HC-127 fairmont green
 2145-10 avocado
 2172-30 mexicana
 HC-66 garrison red
 2052-30 tropical turquoise
 2082-30 cherokee brick
 2116-30 cabernet
 2041-20 fiddlehead green
 2085-20 pottery red
 HC-156 van duesen blue
 2117-30 shadow
 2051-20 pine green
 HC-61 new london burgundy
 2049-20 oasis blue
 2083-10 raisin torte
 2054-20 beau green
 2069-20 blackberry wine
 2057-20 galapagos turquoise
 2156-50 asbury sand
 HC-53 hathaway peach

OC-48 hazy skies
 HC-31 waterbury cream
 HC-18 adams gold
 2143-40 camouflage
 2122-40 smoke
 HC-83 grant beige
 HC-140 prescott green
 2123-40 gossamer blue
 2144-40 soft fern
 2139-50 silver marlin
 AC-1 coastal fog
 2148-40 light khaki
 HC-90 crown point sand
 HC-80 bleaker beige
 2142-50 gray mirage
 2175-50 peach blossom
 HC-11 marblehead gold
 HC-146 wedgewood gray
 2158-40 golden mist
 HC-9 chester town buff
 2141-50 horizon gray
 HC-92 wheeling neutral
 2140-50 gray horse
 HC-82 bennington gray
 HC-143 wythe blue
 HC-139 salisbury green
 2149-40 timothy straw
 2151-40 sulfur yellow
 HC-114 saybrook sage
 2136-50 colorado gray
 HC-15 henderson buff
 HC-115 gergian green
 HC-118 sherwood green
 AC-19 homestead green
 AC-22 nantucket fog
 2138-50 misted green
 2095-50 just beige
 HC-8 dorset gold
 AC-16 kentucky haze
 HC-95 sag harbor gray
 HC-79 greenbrier beige
 HC-91 danville tan
 HC-108 sandy hook gray
 HC-14 princeton gold
 HC-17 summerdale gold
 2173-40 antique rose
 HC-132 harrisburg green
 HC-142 stratton blue
 HC-7 bryant gold
 HC-22 blair gold

2122-30 cloudy sky
 HC-123 kennebunkport green
 2096-40 gaucho brown
 HC-13 millington gold
 HC-131 lehigh green
 2149-30 fresh olive
 2149-20 g.i. green
 HC-130 webster green
 2149-10 newt green
 2144-10 guacamole
 2091-40 red river clay
 2093-30 colonial brick
 2158-10 dried mustard
 2089-10 iron ore red
 2173-30 salmon stream
 2090-30 terra cotta tile
 2091-20 rustic brick
 2093-20 fresh clay
 2005-20 hot apple spice
 2092-30 boston brick

Cypress Cove Lots 9-13

HC-34 wilmington tan
 HC-28 shelbourne buff
 HC-23 yorkshire tan
 HC-25 quincy tan
 HC-35 powell buff
 HC-44 lenox tan
 HC-29 dunmore cream

Cypress Cove Lots 14-35

2143-40 camouflage
 HC-83 grant beige
 HC-90 crown point sand
 HC-80 bleaker beige
 AC-1 coastal fog
 2108-50 silver fox
 2137-50 sea haze
 HC-82 bennington gray
 2111-50 stone harbor
 HC-95 sag harbor gray
 HC-79 greenbrier beige
 HC-108 sandy hook gray
 HC-91 danville tan
 HC-21 huntington beige
 HC-102 clarksville gray
 AC-2 berkshire beige
 HC-98 providence olive
 HC-105 rockport gray
 Exterior Ready Mixed briarwood

Color Palettes

HC-89 northampton putty
HC-94 old salem gray
HC-107 gettysburg gray
HC-77 alexandria beige
2141-40 creekside green
2140-40 storm cloud gray
2108-40 stardust
HC-110 wethersfield moss
HC-97 hancock gray
2111-40 taos taupe
HC-86 kingsport gray
2138-40 carolina gull
2137-40 desert twilight
HC-104 copley gray
HC-101 hampshire gray
HC-168 chelsea gray
2143-20 alligator green
HC-109 sussex green
HC-106 crownsville gray
AC-3 texas leather
HC-103 cromwell gray
HC-100 gloucester sage
HC-85 fairview taupe
2142-30 mountain moss
2139-30 sharkskin
2141-30 army green
2143-10 sage
2140-30 dark olive
2138-30 mohegan sage
2142-20 turtle green
2141-20 cabbage patch
2137-20 char brown
2139-20 dakota woods green
2138-20 green grove
2140-20 tuscanly green

Sandy Creek
Wiregrass Meadows
Lots 1-10 & 25-35

SW 6169 sedate gray
SW 6134 netsuke
SW 6155 rice grain
SW 7050 useful gray
SW 6184 austere gray
SW 6163 grassland
SW 2282 downing
SW 7030 anew gray
SW 6156 ramie
SW 2844 roycroft mist gray
SW 7044 amazing gray

SW 6149 relaxed khaki
SW 7058 magnetic gray
SW 0011 crewel tan
SW 6198 sensible hue
SW 7051 analytical gray
SW 6142 macadamia
SW 7037 balanced beige
SW 0049 silver gray
SW 6073 perfect greige
SW 6136 harmonic tan
SW 6157 favorite tan
SW 6164 svelte sage
SW 6150 universal khaki
SW 6185 escape gray
SW 6171 chatroom
SW 7038 tony taupe
SW 7031 mega greige
SW 6199 rare gray
SW 7059 unusual gray
SW 7052 gray area
SW 0037 morris room gray
SW 2827 colonial revival stone
SW 7045 intellectual gray
AC-31 hot spring stones
HC-108 sandy hook gray
AC-1 coastal fog
HC-93 carrington beige
HC-99 abingdon putty
HC-96 richmond gray
HC-98 providence olive
HC-95 sag harbor gray
HC-80 bleeker beige
HC-81 manchester tan
HC-83 grant beige
HC-26 monroe bisque
2143-40 camouflage
2141-50 horizon gray
HC-102 clarksville gray
2142-50 gray mirage
2137-50 sea haze
HC-83 grant beige
HC-90 crown point sand

Oak Grove Lots 1-17 & 51-55
Wiregrass Meadows Lots 11-24
Cerulean Landing Lots 20-33

SW 6137 burlap
SW 2842 roycroft suede
SW 6123 baguette
SW 2845 bunglehouse gray
SW 2840 hammered silver
SW 2855 sycamore tan
SW 6158 sawdust
SW 0024 curio gray
SW 2815 renwick olive
SW 0014 sheraton sage
SW 6165 connected gray
SW 6109 hopsack
SW 6138 artifact
SW 7060 attitudde gray
SW 2861 avocado
SW 2823 rookwood clay
SW 6144 dapper tan
SW 6172 hardware
SW 2841 weathered shingle
SW 6102 portabello
SW 7053 adaptive shade
SW 6151 quiver tan
SW 6081 down home
SW 2820 downing earth
SW 6207 retreat
SW 6186 dried thyme
SW 6200 link gray
SW 7025 backdrop
SW 7046 anonymous
SW 7032 warm stone
SW 7039 virtual taupe
SW 6088 nuthatch
SW 2851 sage green light
SW 0038 library pewter
SW 6145 thatch brown
SW 6159 high tea
SW 2836 quartersawn oak
SW 2843 roycroft brass
SW 6173 cocoon
SW 6103 tea chest
SW 6201 thunderous
SW 6047 hot cocoa
SW 6187 rosemary
SW 6412 eminent bronze
SW 6082 cobble brown
SW 6152 superior bronze
SW 6166 eclipse

SW 7033 brainstorm bronze
SW 7040 smokehouse
SW 7054 suitable brown
SW 6208 pewter green
SW 6167 garden gate
HC-113 louisburg green
HC-89 northampton putty
2143-30 olive branch
HC-94 salem gray
2141-40 creekside green
HC-107 gettysburg gray
HC-77 alexandria beige
HC-20 woodstock tan
2140-40 storm cloud gray
AC-33 mesa verde tan
HC-110 wethersfield moss
HC-97 hancock gray
HC-104 copley gray
2111-40 taos taupe
2108-40 stardust
HC-86 kingsport gray
2138-40 carollina gulf
2143-29 alligator green
HC-88 jamesboro gold
HC-19 norwich brown
HC-76 davenport tan
HC-112 tate olive
HC-106 crownsville gray
HC-109 sussex green
AC-3 texas leather
HC-103 cromwell gray
HC-100 gloucester sage
2142-30 mountain moss
HC-85 fairview taupe
2139-30 sharkskin
2143-10 sage
2141-30 army green
2142-20 turtle green
2140-30 dark olive
2138-30 mohegan sage
2137-30 durango
2141-20 cabbage patch
2137-20 char brown
2139-20 dakota woods green
2138-20 green grove
2140-20 tuscanly green

Oak Grove Lots 22-46 & 56-76
Long Leaf Park

SW 6204 sea salt
SW 0059 frostwork
SW 6162 ancient marble
SW 6176 liveable green
SW 6211 rainwashed
SW 6366 ambitious amber
SW 6380 humble gold
SW 2834 birdseye maple
SW 6135 ecru
SW 6121 whole wheat
SW 0044 hubbard squash
SW 6654 surprise amber
SW 6128 blonde
SW 6367 viva gold
SW 6191 contented
SW 6374 torchlight
SW 6177 softened green
SW 6212 quietude
SW 2813 downing straw
SW 6143 basket beige
SW 6206 oyster bay
SW 0066 cascade green
SW 6178 clary sage
SW 6213 halcyon green
SW 6192 coastal plain
SW 2826 colonial revival green stone
SW 6193 privilege green
SW 6179 artichoke
HC-84 elmira white
2150-50 hampton green
OC-48 hazy skies
HC-116 Guilford green
2145-40 fernwood green
HC-24 pittsfield buff
2144-40 soft fern
HC-172 revere pewter
2139-50 silver marlin
HC-140 prescott green
Exterior Ready Mixed annapolis gray
2143-40 camouflage
HC-45 shaker beige
HC-90 crown point sand
AC-1 coastal fog
2142-50 gray mirage
HC-92 wheeling neutral
2141-50 horizon gray
HC-9 chestertown buff
2137-50 sea haze

2160-40 roasted sesame seed
HC-15 henderson buff
HC-115 georgian green
2138-50 misted green
2149-50 timothy straw
HC-139 salisbury green
HC-82 bennington gray
HC-114 saybrook sage
HC-143 wythe blue
2151-40 sulfur yellow
AC-19 homestead green
HC-8 dorset gold
HC-28 shelburne buff
HC-118 sherwood green
AC-35 valley forge tan
2153-40 cork
AC-16 kentucky haze
HC-7 bryant gold
HC-95 sag harbor gray
AC-32 pismo dunes
HC-108 sandy hook gray
HC-14 princeton gold
HC-17 summerdale gold
HC-79 greenbrier beige
HC-91 danville tan
HC-21 huntington beige
AC-2 berkshire beige
HC-102 clarksville gray
HC-142 stratton blue
2139-40 heather gray
HC-22 blair gold
2144-30 rosemary sprig
AC-36 shenandoah taupe
2152-30 autumn gold
HC-98 providence olive
HC-94 old salem gray
Exterior Ready Mixed briarwood
2160-30 maple sugar
HC-113 louisburg green
2141-40 creekside green
HC-77 alexandria beige
AC-17 sea pine
AC-33 mesa verde tan
2144-20 eucalyptus leaf
2153-30 tapestry gold
HC-122 great barrington breen
HC-16 livingston gold
2122-20 steep cliff gray
HC-126 avon green

Color Palettes

Oak Grove Lots 18-21

SW 2860 sage
SW 1162 summer resort
Colorwheel 8174M fenland
ICI 876 wellington
ICI 830 khaki green
HC-111 nantucket gray
2142-40 dry sage

Oak Grove Lots 47-50

SW 0030 colonial yellow
SW 2831 classical gold
HC-12 concord ivory
2152-40 golden tan
2154-40 york harbor yellow
HC-10 stuart gold

Cerulean Landing Lots 1-19

SW 6400 lucent yellow
SW 0068 copen blue
SW 2865 classical yellow
SW 6653 delicious melon
SW 6429 baize green
SW 6667 afterglow
SW 0029 acanthus
SW 2857 peace yellow
SW 6422 shagreen
SW 6394 sequin
SW 0013 majolica green
HC-30 philadelphia cream
HC-117 hancock green
2151-50 bronzed beige
2149-50 mellowed ivory
HC-144 palladian blue
HC-1 castleton mist
2156-50 asbury sand
2155-50 suntan yellow
HC-147 woodlawn blue
HC-29 dunmore cream
2145-40 fernwood green
2153-50 desert tan
HC-116 guilford green
HC-18 adams gold
2144-40 soft fern
HC-31 waterbury cream
2148-40 light khaki

Sand Hill

SW 7120 dollop of cream
SW 6420 queen anne's lace
SW 7117 melon tint
SW 7118 french vanilla
SW 2829 classical white
SW 6665 gardenia
SW 6679 full moon
SW 6413 restoration ivory
SW 0051 classic ivory
2150-70 easter lily
2017-70 white vanilla
2018-70 milkyway
2015-70 apricot ice
2167-70 summer peach
Interior Ready Mix linen white
2156-70 fine china
Interior Ready Mix navajo white
Interior Ready Mix cameo white
2158-60 lion yellow
2154-60 filtered sunlight
2157-60 tudor cream
2159-60 cream
2160-60 kansas grain
Interior Ready Mix antique white
2165-60 durango dust
HC-6 windham cream
2016-60 creamy beige
2155-60 cream yellow
2153-60 rich cream
HC-36 hepplewhite ivory

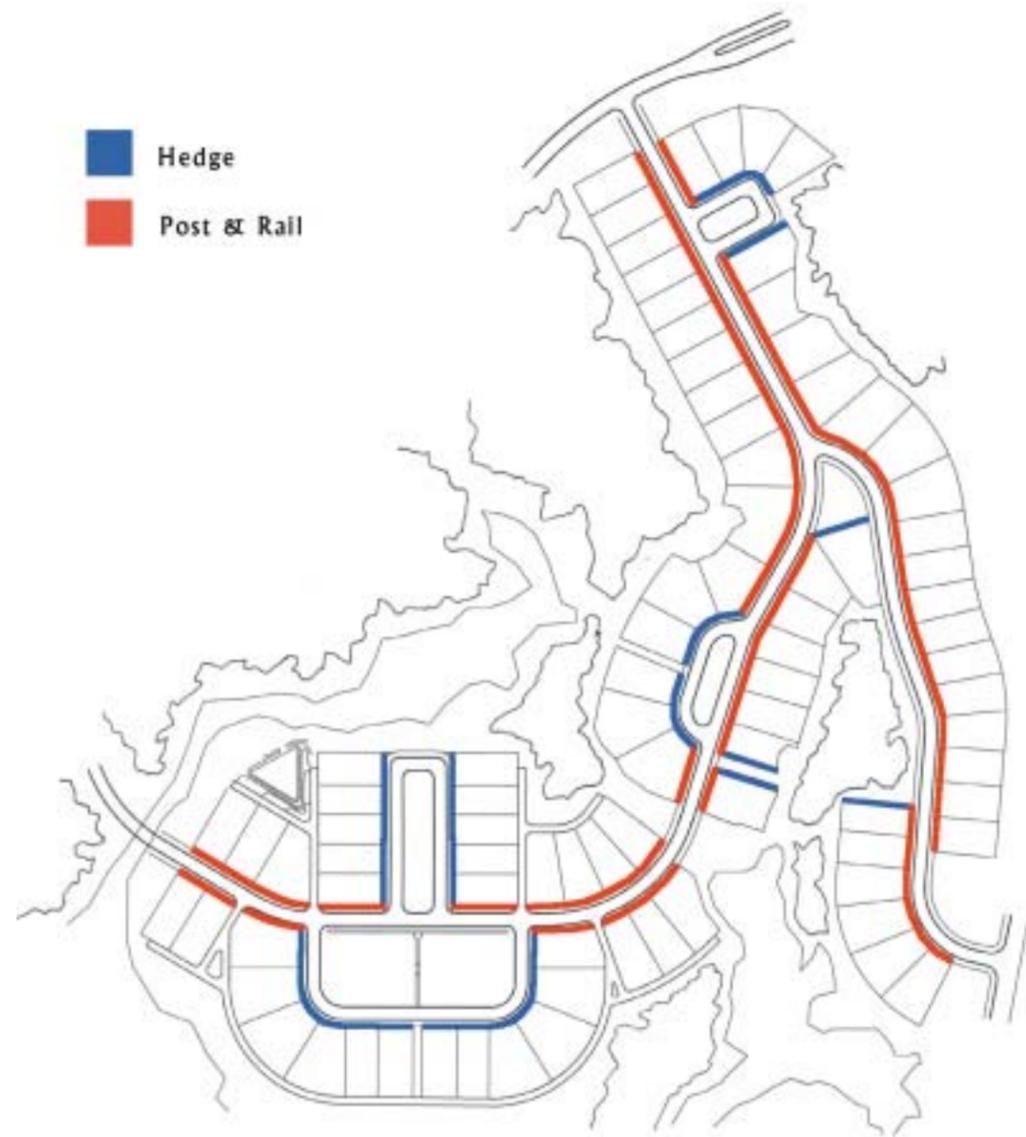
Vermillion Point

SW 6626 sunset
SW 6627 emberglow
SW 6614 quite coral
SW 6628 robust orange
SW 6615 peppery
SW 6326 henna shade
SW 6622 hearty orange
SW 6333 foxy
SW 0057 chinese red
SW 6320 bravado red
2166-40 soft pumpkin
2157-30 butterscotch
2175-40 adobe dust
2089-30 pink mix
2006-30 rosy apple
2090-40 wild flower
2157-20 golden harvest
2166-30 bronze tone
2175-30 rust
2089-20 rosy peach
2007-10 smoldering red
2006-20 sangria
2172-40 raspberry parfait
2091-40 red river clay
2089-10 iron ore red
2093-30 colonial brick

Landscape Criteria and Requirements

LANDSCAPE CRITERIA AND REQUIREMENTS, This section supplements and clarifies information found in Patterns for Place-Making, *A Guide for the Creation of WaterColor*. The philosophy and information found in Section D of that text also applies to the Phase III lots in conjunction with the requirements listed for each neighborhood. Trees planted in the ROW shall be centered between the path and the backside of the road curb. Irrigation of the front ROW is to be installed and maintained by the owner. Take care not to damage existing trees and roots when installing hedges and post and rail fences. Homeowners may install a path (4' max. width) through the ROW plantings. The path surface shall be either, crushed shell, pine straw mulch, concrete pavers or stone.

REQUIRED PROPERTY LINE ARTICULATION



PINE CREST

FRONT & SIDE STREET PROPERTY LINES

The standard WaterColor post & rail fence shall be constructed on the front lot lines of Lots 1, 2, 15, 16, 17, 18, 19, 20, 21, 32, 33, 34, and the side lot lines of Lots 3, 14, 22, and 31, as shown in the diagram. Color to be Type A. A data sheet depicting post and rail details, specifications, and color is available at the office of the DRB Administrator.

On Lots 22, 23, 24, 25, 26, 27, 28, 29, 30, and 31 the Developer will install and irrigate a Wax Myrtle (*Myrica cerifera*) hedge. The homeowner is to keep it uniformly clipped to a 4' height and shaped to maintain full foliage.

On Lots 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, and 14, the homeowner shall plant and maintain a Yaupon Holly (*Ilex vomitoria* var. *Kathy Anne* or equiv.) hedge in the front yard easement. Hedge plants shall be 30" min. tall when installed and placed at 24" on center. The hedge is to be kept uniformly clipped to a 4' height and shaped to maintain full foliage.

FRONT & SIDE ROW LANDSCAPING

In front of Lots 22, 23, 24, 25, 26, 27, 28, 29, 30, and 31 the Developer will install and irrigate the ROW trees and ground covers.

For all other lots, homeowners are to install one Live Oak (*Quercus virginiana*) in the front ROW. In addition, corner lots shall install two Live Oaks evenly spaced in the side yard. All Live Oaks are to have a minimum trunk diameter of 3 1/2" DBH when installed.

All plant selections proposed for the front ROW of Lots 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, and 14 shall come from the list of 'ROW Type A' plants included in this section.

All plant selections proposed for all other front and side ROW areas shall come from the list of 'ROW Type B' plants included in this section.

LANDSCAPE DESIGN WITHIN THE PROPERTY LINES

As appropriate to the location of their lot, Pine Crest homeowners are encouraged to pick plants from either the Coastal Scrub Forest or Lowland Transitional Forest Ecological Zones as described in this section. See *A Guide for the Creation of WaterColor*, pages D9 and D10 for additional plants.

Landscape Criteria and Requirements

CYPRESS COVE

FRONT & SIDE STREET PROPERTY LINES

In the front yard easement of Lots 9, 10, 11, 12, and the side yard easement of Lot 13 the homeowners shall plant and maintain a Dwarf Southern Magnolia (*Magnolia grandiflora* var. 'Little Gem') hedge in the side yard easement. Hedge plants shall be 36" tall when installed and placed at a min. 36" on center. The hedge is to be kept clipped to a uniform 4-6' height and shaped to maintain thick foliage.

In the front yard easement of Lots 36, 44, 45, 46, 47, 48, and a portion of 49, the homeowners shall plant and maintain a Yaupon Holly (*Ilex vomitoria* var. *Kathy Anne* or *equiv.*) hedge in the front yard easement. Hedge plants shall be 30" min. tall when installed and placed at 24" on center. The hedge is to be kept clipped uniformly to a 4' height and shaped to maintain full foliage.

On all other front and side yard property lines the standard WaterColor post & rail fence shall be constructed as shown in the diagram. Color is to be type B. A data sheet depicting post and rail details and specifications is available at the office of the DRB Administrator.

FRONT & SIDE ROW LANDSCAPING

In the front ROW of Lots 9, 10, 11, 12, the homeowners are to install one Bald Cypress (*Taxodium distichum*) as a street tree. Lot 13 is to install two Bald Cypresses evenly spaced in the side ROW. All Bald Cypresses are to have a minimum trunk diameter of 3 1/2" DBH when installed.

All other lots are to install one Live Oak (*Quercus virginiana*) in the front ROW. In addition, corner lots shall install two Live Oaks evenly spaced in the side yard ROW. All Live Oaks are to have a minimum trunk diameter of 3 1/2" DBH when installed.

All plant selections proposed for the front ROW areas for Lots 9, 10, 11, 12, 44, 45, 46, 47, 48, and part of lot 49, and the side ROW of Lot 13, shall come from the list of ROW 'Type A' plants included in this section.

All plant selections proposed for the front ROW areas for Lots 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, and 35, shall come from the list of ROW 'Type A' plants included in this section.

All plant selections proposed for all other Row areas to come from the list of ROW 'Type B' plants included in this section.

LANDSCAPE DESIGN WITHIN THE PROPERTY LINES

As appropriate to the location of their lot, Cypress Cove homeowners are encouraged to pick plants from either the Coastal Scrub Forest or Lowland Transitional Forest Ecological Zones as described in this section. See *A Guide for the Creation of WaterColor*, pages D9 and D10 for additional plants.



ECOLOGICAL ZONES

The site consists of zones of distinct plant communities and ecologies. In order to protect this unique landscape and animal habitat, care must be taken to preserve and reinforce these distinct zones in the design of residential landscapes. The following is a list of typical plants of each zone that homeowners are encouraged to choose from when selecting plants for their yards. The lists shown below are not extensive, but rather highlight typical plants of each zone. For the

full list of plants see Patterns in Placemaking, *A Guide to the Creation of WaterColor*, pages D9 and D10.

COASTAL SCRUB FOREST: A zone of sandy soil, with stands of pines, scrub oaks, and magnolias, and an understory of saw palmettos and salt tolerant shrubs.

- | | |
|--------------------------|------------------------|
| Chrysoma pauciflosculosa | Woody Goldenrod |
| Conradina canescens | Conradina (Scrub Mint) |
| Hypericum reductum | St. John's Wort |
| Ilex vomitoria | Yaupon Holly |
| Lyonia ferruginea | Rusty Lyonia |
| Magnolia grandiflora | Southern Magnolia |
| Pinus palustris | Longleaf Pine |
| Pinus elliottii | Slash Pine |
| Pinus clausa | Sand Pine |
| Quercus chapmanii | Chapman Oak |
| Quercus geminata | Sand Live Oak |

- Quercus incana
- Quercus laevis
- Quercus myrtifolia
- Serenoa repens
- Vaccinium arboreum

- Blue Jack Oak
- Turkey Oak
- Myrtle Oak
- Saw Palmetto (green)
- Sparkleberry

LOWLAND TRANSITIONAL FOREST: A forest zone bordering wetter areas associated with Western Lake, steams, or wetland hammocks. The forest is characterized by groves of pines with intermittent groups of magnolia and live oak.

- Ilex cassine
- Ilex glabra
- Hibiscus coccineus
- Lyonia lucida
- Magnolia grandiflora
- Magnolia virginiana
- Myrica cerifera
- Persea borbonia
- Pinus elliottii
- Rhododendron austrinum
- Serenoa repens
- Sisyrichium sp.
- Taxodium distichum
- Taxodium ascendens

- Dahoon Holly
- Inkberry Holly
- Scarlet Hibiscus
- Smooth Lyonia
- Southern Magnolia
- Sweetbay Magnolia
- Wax Myrtle
- Red Bay
- Slash Pine
- Florida Azalea
- Saw Palmetto (green)
- Blue-Eyed Grass
- Bald Cypress
- Pond Cypress

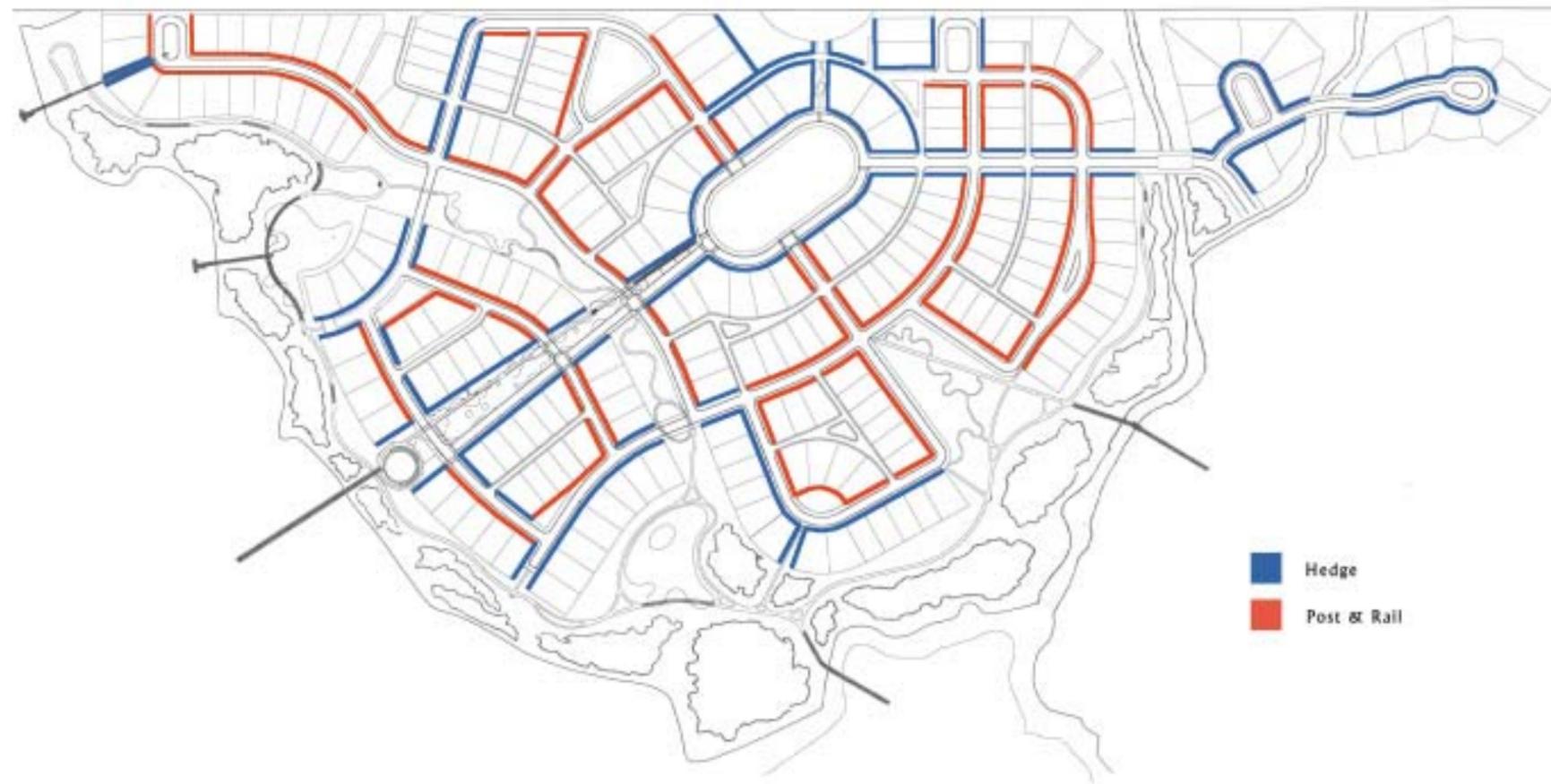
WETLAND/RIPARIAN FOREST: An often quite dense forest situated near freshwater or in swamps. Hydrophytic or wet soil-adapted plants dominate the mix, such as certain titi, dahoon, bay, and magnolia species.

- Cliftonia monophylla
- Cyrilla racemiflora
- Ilex cassine
- Ilex glabra
- Ilex myrtifolia
- Juncus effusus
- Magnolia virginiana
- Myrica cerifera
- Osmunda cinnomomea
- Persea borbonia
- Rhododendron viscosum

- Black Titi
- Titi
- Dahoon Holly
- Inkberry Holly
- Myrtle Leaf Holly
- Soft Rush
- Sweetbay Magnolia
- Wax Myrtle
- Cinnamon Fern
- Red Bay
- Swamp Azalea

Landscape Criteria and Requirements

REQUIRED PROPERTY LINE ARTICULATION



SANDY CREEK

FRONT & SIDE STREET PROPERTY LINES

On Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, and 17, the homeowner shall plant and maintain a Yaupon Holly (*Ilex vomitoria* var. 'Hoskin Shadow') hedge in the front yard easement. Hedge plants shall be 30" tall when installed and placed at 24" on center. The hedge is to be kept uniformly clipped to a 4' height and shaped to maintain full foliage.

In the front yard easement of Lots 18, and 19* and the side yard easement of Lot 1 & 7 the homeowner shall plant and maintain a Dwarf Southern Magnolia (*Magnolia grandiflora* var. 'Little Gem') hedge. Hedge plants shall be 36" tall when installed and placed at a min. 36" on center. The hedge is to be kept clipped to a uniform height (min. 5' height) and shaped to maintain thick foliage.

The Developer will plant and irrigate a Dwarf Southern Magnolia (*Magnolia grandiflora* var. 'Little Gem') Hedge in the side yard easements of Lot 19 and the rear Lot easement of Lot 1. The Homeowner is to keep the hedge clipped to a uniform height (min. 5' height) and shaped to maintain thick foliage.

FRONT & SIDE ROW LANDSCAPING

Install one Live Oak (*Quercus virginiana*) in the front ROW. Lots with front yards wider than 80' may plant two Live Oaks. In addition, corner lots are to install two Live Oaks evenly spaced in the side yard ROW. All Live Oaks are to have a minimum trunk diameter of 3 1/2" DBH when planted.

For Lots 1, 2, 3, 4, 5, 6, and 7, all plant selections proposed for the front ROW areas shall come from the list of 'ROW Type E' plants included in this section.

For Lots 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, and part of 19, all plant selections proposed for the front ROW areas shall come from the list of 'ROW Type F' plants included in this section. Lot 7 side yard ROW area plants should come from Type F' plants as well.

LANDSCAPE DESIGN WITHIN THE PROPERTY LINES

As appropriate to the location of their lot, Sandy Creek homeowners are encouraged to pick plants from either the Piney Flatwoods or Lake Edge Transitional Forest Ecological Zones as described in this section. See *A Guide for the Creation of WaterColor*, pages D9 and D10 for additional plants to be used in the lots.

Landscape Criteria and Requirements

OAK GROVE

FRONT & SIDE STREET PROPERTY LINES

The standard WaterColor post & rail fence shall be constructed on the front and side lot lines as shown in the diagram. Color to be Type A. A data sheet depicting post and rail details, specifications, and color is available at the office of the DRB Administrator.

In the front yard easements of Lots 11, 12, 13, 14, 15, 16, 17, 47, 48, 49, and 50, the homeowner shall plant and maintain a Yaupon Holly (*Ilex vomitoria* var. *Kathy Anne* or equiv.) hedge. Hedge plants shall be min. 30" tall when installed and placed at 24" on center. The hedge is to be kept uniformly clipped to a 4' height and shaped to maintain full foliage.

The homeowner shall plant and maintain a Dwarf Southern Magnolia (*Magnolia grandiflora* var. *Little Gem*) hedge along the side yard easement of Lots 17, 47 and the back yard easement of Lots 47, and 48. Hedge plants shall be 36" tall when installed and placed at a min. 36" on center. The hedge is to be kept clipped to a uniform height (min. 5' height) and shaped to maintain thick foliage.

On Lots 1, 43, 44, 55, 56, 60, 61, and 76, the homeowners shall plant and maintain a Dwarf Southern Magnolia (*Magnolia grandiflora* var. *Little Gem*) hedge in the side yard easement. Hedge plants shall be 36" tall when installed and placed at a min. 36" on center. The hedge is to be kept clipped to a uniform 4-6' height and shaped to maintain thick foliage.

FRONT & SIDE ROW LANDSCAPING

Install one Live Oak (*Quercus virginiana*) in the front ROW. In addition, corner lots are to install two Live Oaks evenly spaced in the side yard ROW. All Live Oaks are to have a minimum trunk diameter of 3 1/2" DBH when installed.

An area of preserved vegetation is in front of lots 18, 19, 20, and 21. No planting is required or needed in the front ROW.

In the front row of Lots 22, 23, 24, 25, 26, 27, 66, 67, 68, 69, and 70 and in the side row of Lots 1, 43, 44, 55, 56, 60, 61, and 76. All plant selections to come from the list of "Type F" plants included in this section.

For Lots 34, and 35 all plant selections proposed for the side ROW area shall come from the list of ROW 'Type G' plants included in this section.

All plant selections proposed for the front and side ROW areas for all other lots shall come from the list of 'ROW Type D' plants included in this section.

LANDSCAPE DESIGN WITHIN THE PROPERTY LINES

Oak Grove homeowners are encouraged to pick plants from the Lake Edge Transitional Forest Ecological Zone as described in this section. See *A Guide for the Creation of WaterColor*, pages D9 and D10, for additional plants.

CERULEAN LANDING

FRONT & SIDE STREET PROPERTY LINES

The standard WaterColor post & rail fence shall be constructed on the front lot lines of all lots except Lots 4, 5, 6, 7, 8, 9, 10, 12, 13, 14, 29, 30, 31, 32, and 33 as shown in the diagram. The post and rail fence is to also be constructed on the side lots lines of Lots 3, 4, 14, and 15. Color to be type A. A data sheet depicting post and rail details, specifications, and color is available at the office of the DRB Administrator.

In the front yard easement of Lots 29, 30, 31, 32, 33 and the side yard easement of Lot 28, homeowners shall plant and maintain Dahoon Holly (*Ilex cassine*) hedge. Hedge plants shall be min. 24" tall when installed and placed at a min. 30" on center. The hedge is to be kept uniformly clipped to a 4' height and shaped to maintain full foliage.

Lots 9, 10, 11, 12, 13, 14, and the side yard easement of Lot 20, the homeowners shall plant and maintain a Wax Myrtle (*Myrica Cerifera*) hedge. Hedge plants shall be min. 24" tall when installed and placed at a min. 24" on center. The hedge is to be kept uniformly clipped to a 4' height. Dwarf Wax Myrtle varieties are acceptable to use if they meet the height requirement.

In the side yard easement of Lots 1, 8, 9, 19, the homeowners shall plant and maintain a Dwarf Magnolia (*Magnolia grandifolia* var. *Little Gem*) hedge. Hedge plants shall be min. 36" tall when installed and placed at a min. 36" on center. The hedge is to be kept uniformly clipped to a 4'-6" height and shaped to maintain full foliage.

In the front yard easement of Lots 4, 5, 6, 7, and 8, the Developer will install and irrigate a hedge along the front yard easement. The homeowner shall keep it clipped to a uniform 4' height and shaped to maintain full foliage. The homeowner shall build in the hedge, a 3' wide wooden gate with a 4' maximum height. Each gate shall be unique and distinctive with a style and color that is in harmony the homeowner's house.

In the side yard easement of Lots 25 and 24 the Developer will install and irrigate a Dwarf Magnolia (*Magnolia grandiflora* var. *Little Gem*) hedge. The homeowner should keep it clipped to a uniform 5'-5" height and shaped to maintain full foliage.

FRONT & SIDE ROW LANDSCAPING

Install one Live Oak (*Quercus virginiana*) in the front ROW. In addition, corner lots are to install two Live Oaks evenly spaced in the side yard ROW. All Live Oaks are to have a minimum trunk diameter of 3 1/2" DBH when installed.

All plant selections proposed for the front ROW areas for Lots 9, 10, 11, 12, 13, and 14, shall come from the list of 'ROW Type F' plants included in this section.

An area of preserved vegetation is in front of lots 1, 2, 3, 4, 5, 6., 7, 8, 18, and 19. No planting is required or needed in the front ROW.

All plant selections proposed for the front and side ROW areas for all other lots shall come from the list of 'ROW Type D' plants included in this section.

LANDSCAPE DESIGN WITHIN THE PROPERTY LINES

Cerulean Landing homeowners are encouraged to pick plants from the Lake Edge Transitional Forest Ecological Zone as described in this section. See *A Guide for the Creation of WaterColor*, pages D9 and D10, for additional plants.

WIREGRASS MEADOWS

FRONT & SIDE STREET PROPERTY LINES

On Lots 11, 12, 13, 14, 15, and 16, the homeowners shall plant and maintain a yaupon holly (*Ilex vomitoria* var. *Kathy Anne* or equiv.) hedge in the front yard easement. Hedge plants shall be min. 30" tall when installed and placed at 24" on center. The hedge is to be kept uniformly clipped to a 4' height and shaped to maintain full foliage.

On Lot 16, the homeowner shall plant and maintain a Dwarf Southern Magnolia (*Magnolia grandiflora* var. *Little Gem*) hedge along the side yard easement. Hedge plants shall be 36" tall when installed and placed at a min. 36" on center. The hedge is to be kept clipped to a uniform height (min. 5' height) and shaped to maintain thick foliage.

Landscape Criteria and Requirements

In the front yard easement of Lots 17, 18, 19, 20, 21, 22, 23, 24, and the side yard easements of lots 10, 11, 25 and 28, the homeowners shall plant and maintain a Wax Myrtle (*Myrica cerifera*) hedge. Hedge plants shall be min. 24” tall when installed and placed at 24” on center. The hedge is to be kept uniformly clipped to a 4’ height and shaped to maintain full foliage. Dwarf Wax Myrtle varieties are acceptable to use if they meet the height requirements.

In the side yard easement of Lot 1 the homeowner shall plant and maintain a Yaupon Holly (*Ilex vomitoria var. Kathy Anne or equiv.*) hedge. Hedge plants shall be min. 30” tall when installed and placed at 24” on center. The hedge is to be kept uniformly clipped to a 4’ height and shaped to maintain full foliage.

In the side yard easement of Lot 35, the homeowner shall plant and maintain a Dahoon Holly (*Ilex cassine*) hedge. Hedge plants shall be 24” tall when installed and placed at 30” on center. The hedge is to be kept uniformly clipped to a 4’ height.

In the side yard easement of Lot 29 the Developer will install and irrigate a hedge along the front yard easement. The homeowner is to keep it clipped to a uniform 5’ height and shaped to maintain full foliage.

The standard WaterColor post & rail fence shall be constructed on the front yard lot line of all of the other lots and side lot lines of lots 4 and 5 as shown in the diagram. Color to be type B. A data sheet depicting post and rail details, specifications, and color is available at the office of the DRB Administrator.

FRONT & SIDE ROW LANDSCAPING

Install one Live Oak (*Quercus virginiana*) in the front ROW. In addition, corner lots are to install two Live Oaks evenly spaced in the side ROW. All Live Oaks are to have a minimum trunk diameter of 3 1/2” D.B.H. when installed.

All plant selections proposed for the side ROW area for Lot 28 shall come from the list of ‘ROW Type F’ plants included in this section.

All plant selections proposed for the front ROW areas for Lots 1, 2, 3, 4, 5, 6, 8, 9 and 10, shall come from the list of ‘ROW Type G’ plants included in this section.

All plant selections proposed for the front ROW areas for Lots 25, 26, 27, 28, 29, 30, 31, 32, 33, 34 and 35, shall come from the list of ‘ROW Type H’ plants included in this section.

All plant selections proposed for the front and side ROW areas for all other lots shall come from the list of ‘ROW Type E’ plants included in this section.

LANDSCAPE DESIGN WITHIN THE PROPERTY LINES

As appropriate to the location of their lot, Wiregrass Meadows homeowners are encouraged to pick plants from either the Piney Flatwoods or Lake Edge Transitional Forest Ecological Zones as described in this section. See *A Guide for the Creation of WaterColor*, pages D9 and D10 for additional plants.

SAND HILL

FRONT & SIDE STREET PROPERTY LINES

On all lots except 12, 13, 14, and 15, homeowners shall plant and maintain a Yaupon Holly (*Ilex vomitoria var. Kathy Anne or equiv.*) hedge in the front yard easement. Hedge plants shall be min. 30” min. tall when installed and placed at 24” on center. The hedge is to be kept uniformly clipped to a 4’ height and shaped to maintain full foliage.

In the front yard easement of Lots 12 and 13 and the side yard easement of Lots 2, 3, and 11 the Homeowner shall plant and maintain a Wax Myrtle hedge (*Myrica cerifera*). Hedge plants shall be min. 30” tall when installed and placed at 24” on center. The hedge is to be kept uniformly clipped to a 4’ height and shaped to maintain full foliage. Dwarf Wax Myrtle varieties are acceptable to use if they meet the height requirement.

In the front yard easement of Lots 14 and 15 and the side yard easement of lot 16 the Developer will install and irrigate a hedge along the front yard easement. The homeowners shall keep it clipped to a uniform 4’ height and shaped to maintain full foliage. At the boardwalk entrance bridges (see Cerulean Park North Plan), the homeowners shall build in the hedge, a 3’ wide wooden gate with a 4’ maximum height. Each gate shall be unique and distinctive with a style and color that is in harmony the homeowner’s house.

On the side yard easement between Lots 23 and 24, the Homeowner shall plant and maintain a Dwarf Southern Magnolia (*Magnolia grandiflora var. Little Gem*) hedge along the side yard easement. Hedge plants shall be 36” tall when installed and placed at a min. 36” on center. The hedge is to be

kept clipped to a uniform height (min. 5’ height) and shaped to maintain thick foliage.

In the rear yard easements of Lots 1, 2, 20, 21, 22, 23, and 24, the homeowner is to plant a (*Myrica cerifera*) hedge. Hedge plants shall be 36” tall when installed and placed at a min. 30” on center. The hedge is to be kept clipped to a uniform 5’ height and shaped to maintain thick foliage.

The standard WaterColor post & rail fence shall be constructed on the side lot lines of Lots 7, 8, 13, 14, 19, and 20 as shown in the diagram. Color to be type B. A data sheet depicting post and rail details, specifications, and color is available at the office of the DRB Administrator.

FRONT & SIDE ROW LANDSCAPING

Install one Live Oak (*Quercus virginiana*) in the front ROW. In addition, corner lots shall install two Live Oaks evenly spaced in the side ROW. All Live Oaks are to have a minimum trunk diameter of 3 1/2” D.B.H. when installed.

All plant selections proposed for the front ROW area of Lots 12 and 13 and the side Row area of lots 2, 3 and 11, (assuming Lot 11 fronts on to Sand Hill Circle) shall come from the list of ROW ‘Type F’ plants included in this section.

All plant selections proposed for the side ROW area on lots 7, 8, 13, 14, 19 and 20, shall come from the list of ROW ‘Type G’ plants included in this section.

All plant selections proposed for the rest of the front ROW areas shall come from the list of ROW ‘Type E’ plants included in this section.

LANDSCAPE DESIGN WITHIN THE PROPERTY LINES

Sand Hill Homeowners are encouraged to pick plants from the Piney Flatwoods Ecological Zone as described in this section. See *A Guide for the Creation of WaterColor*, pages D9 and D10 for additional plants.

Landscape Criteria and Requirements

LONG LEAF PARK

FRONT & SIDE STREET PROPERTY LINES

The standard WaterColor post & rail fence shall be constructed on the front and side lot lines as shown in the diagram. Color to be Type B. A data sheet depicting post and rail details, specifications, and color is available at the office of the DRB Administrator.

On Lots 1, 2, 3, 4, 5, 6, 7, and 8, the homeowners shall plant and maintain a yaupon holly (*Ilex vomitoria var. Kathy Anne or equiv.*) hedge in the front yard easement. Hedge plants shall be min. 30" min. tall when installed and placed at a min. 24" on center. The hedge is to be kept uniformly clipped to a 4' height and shall be shaped to maintain full foliage.

On Lots 14, 15, and 16, the homeowners shall plant and maintain a Dwarf Southern Magnolia (*Magnolia grandiflora var. 'Little Gem'*) hedge along the rear property line. Hedge plants should be 36" tall when installed and placed at a min. 36" on center. The hedge is to be kept clipped to a uniform height (min. 5' height) and shall be shaped to maintain thick foliage.

On Lot 16, the homeowner shall plant and maintain a wax myrtle (*Myrica cerifera*) hedge along the side yard (alley) property line. Hedge plants shall be 36" tall when installed and placed at a min. 30" on center. The hedge is to be kept clipped to a uniform 5' height and shall be shaped to maintain thick foliage.

FRONT & SIDE ROW LANDSCAPING

Install one Live Oak (*Quercus virginiana*) in the front ROW. In addition, corner lots shall install two Live Oaks evenly spaced in the side yard ROW. All Live Oaks are to have a minimum trunk diameter of 3 1/2" DBH when installed.

All plant selections proposed for the front ROW areas of Lots 14, 15, 16, and the side ROW of Lot 19 shall come from the list of ROW 'Type G' plants included in this section.

All plant selections proposed for the all of the other ROW areas shall come from the list of ROW 'Type E' plants included in this section.

LANDSCAPE DESIGN WITHIN THE PROPERTY LINES

Long Leaf Park homeowners are encouraged to pick plants from the Piney Flatwoods Ecological Zone as described in this section. See *A Guide for the Creation of WaterColor*, pages D9 and D10, for additional plants.

VERMILION POINT

FRONT & SIDE STREET PROPERTY LINES

The standard WaterColor post & rail fence shall be constructed on the front and side lot lines as shown in the diagram. Color to be Type A. A data sheet depicting post and rail details, specifications, and color is available at the office of the DRB Administrator.

On Lot 22, the homeowner shall plant and maintain a Yaupon Holly (*Ilex vomitoria var. Kathy Anne or equiv.*) hedge in the side yard easement. Hedge plants shall be 30" min. tall when installed and placed at 24" on center. The hedge is to be kept uniformly clipped to a 4' height and shall be shaped to maintain full foliage.

On Lots 10 and 11, the homeowner shall plant and maintain a Dwarf Southern Magnolia (*Magnolia grandiflora var. 'Little Gem'*) hedge along the side yard easement. Hedge plants shall be 36" tall when installed and placed at a min. of 36" on center. The hedge is to be kept clipped to a uniform height (min. 5' height) and shall be shaped to maintain thick foliage.

FRONT & SIDE ROW LANDSCAPING

Install one Live Oak (*Quercus virginiana*) in the front ROW. In addition, corner lots shall install two Live Oaks evenly spaced in the side yard ROW. All Live Oaks are to have a minimum trunk diameter of 3 1/2" DBH when installed.

All plant selections proposed for the front and side ROW areas shall come from the list of 'ROW Type D' plants included in this section.

LANDSCAPE DESIGN WITHIN THE PROPERTY LINES

Vermillion Point homeowners are encouraged to pick plants from the Lake Edge Transitional Forest Ecological Zone as described in this section. See *A Guide for the Creation of WaterColor*, pages D9 and D10 for additional plant choices.

Landscape Criteria and Requirements



ECOLOGICAL ZONES

The site consists of zones of distinct plant communities and ecologies. In order to protect this unique landscape and animal habitat, care must be taken to preserve and reinforce these distinct zones in the design of residential landscapes. The following is a list of typical plants of each zone that homeowners are encouraged to choose from when selecting plants for their yards. The lists shown (to the right) are not extensive, but rather highlight typical plants of each zone. For the full list of plants see Patterns in Placemaking, A Guide to the Creation of WaterColor, pages D9 and D10.

LAKE EDGE TRANSITIONAL FOREST: A forest zone bordering wetter areas associated with Western Lake, steams, and wetland hammocks. The forest is characterized by groves of pines with intermittent groups of magnolia and live oak.

- Calamintha coccinea
- Ilex cassine
- Ilex glabra
- Lyonia lucida
- Magnolia grandiflora
- Magnolia virginiana
- Myrica cerifera
- Persea borbonia
- Pinus elliottii
- Pinus clausa
- Quercus virginiana
- Rhododendron austrinum
- Serenoa repens
- Tradescantia oniensis
- Vaccinium darroni
- Red Basil
- Dahoon Holly
- Inkberry Holly
- Smooth Lyonia
- Southern Magnolia
- Sweetbay Magnolia
- Wax Myrtle
- Red Bay
- Slash Pine
- Sand Pine
- Live Oak
- Florida Azalea
- Saw Palmetto (green)
- Spidermart
- Dwarf Blueberry

PINEY FLATWOOD FOREST: A dry upland zone of sandy soil, with stands of pines and oaks, and an understory of wiregrass and drought-tolerant shrubs.

- Aristida beyrichinina
- Callicarpa americana
- Chrysoma pauciflosculosa
- Conradina canescnes
- Hypericum reductum
- Ilex glabra
- Ilex vomitoria
- Lyonia ferruginea
- Pinus palustris
- Quercus chapmanii
- Quercus geminata
- Quercus incana
- Quercus laevis
- Quercus myrtifolia
- Serenoa repens
- Vaccinium arboreum
- Yucca flaccida
- Wire Grass
- Beautyberry
- Woody Goldenrod
- Conradina (Scrub Mint)
- St. John's Wort
- Inkberry Holly
- Yaupon Holly
- Rusty Lyonia
- Longleaf Pine
- Chapman Oak
- Sand Live Oak
- Blue Jack Oak
- Turkey Oak
- Myrtle Oak
- Saw Palmetto (green)
- Sparkleberry
- Yucca

WETLAND/RIPARIAN FOREST: An often quite dense forest situated near freshwater or in swamps. Hydrophytic or wet soil-adapted plants dominate the mix, such as certain titi, dahoon, bay, and magnolia species.

- Cliftonia monophylla
- Cyrilla racemiflora
- Hibiscus sp.
- Ilex cassine
- Ilex glabra
- Ilex myrtifolia
- Juncus effusus
- Magnolia virginiana
- Myrica cerifera
- Osmunda cinnomomea
- Persea borbonia
- Pinus elliottii
- Rhododendron austrinum
- Rhododendron viscosum
- Sarracenia sp.
- Taxodium distichum
- Taxodium ascendens
- Black Titi
- Titi
- Hibiscus
- Dahoon Holly
- Inkberry Holly
- Myrtle Leaf Holly
- Soft Rush
- Sweetbay Magnolia
- Wax Myrtle
- Cinnamon Fern
- Red Bay
- Slash Pine
- Florida Azalea
- Swamp Azalea
- Pitcher Plant
- Bald Cypress
- Pond Cypress

Landscape Criteria and Requirements

RIGHT OF WAY (ROW) PLANTINGS PHASE III

All proposed ROW plants (other than street trees) are to be selected from the following lists. Use the neighborhood planting guidelines to identify the appropriate list for each lot's front and side ROW. It is the responsibility of the Homeowner to maintain the plantings in good health and the ROW in proper condition for automobile safety. ROW beds to be maintained with 3" thick layer of pine needle mulch.

Note on planting design in the ROW. The landscape design of the Homeowner's lot affects the ecology and the 'look' of the community. This is especially true of planting in the ROW as it directly contributes to the composition of the street. Therefore, special care should be taken to follow the recommendations below.

The arrangement of the planting in the ROW is to be in distinct masses of plants. Notice that the plants listed below, with a few exceptions, are to be planted in groups, not as singular specimens. In your planting scheme, favor using a few masses of single species in broad strokes rather than numerous singular plants of different species mixed together. This strategy will contribute to creating a cohesive and integrated planting of flowing and intertwined masses along the street. Strive for this effect in your planting and attempt to coordinate your planting with your neighbor's planting scheme in the ROW so that together they form a unified composition. Whether the plantings are in formal rows or more informal or "organic" masses, the groups should be broad and flowing, running parallel to the street.

There are numerous plant species in some of the lists below. Do not feel compelled to use all of them, rather use just a few of them in well organized, distinct masses. Good luck in helping to create a beautiful and environmentally friendly street!

ROW TYPE A PLANTS:

All Type A plantings should have a double row, 30" on center, of Green Saw Palmetto (*Serenoa Repens* var. 'Green') in the ROW along the road edge. The first row of the Saw Palmetto should be planted 18" from the back of curb. The proposed plantings in the space between the rows of Saw Palmetto and the sidewalk/path is to be selected from the following list:

Atlantic St. John's Wort	Hypericum reductum*
Blazing Star	Liatriis sp.*
Blue-eyed Grass	Sisyrinchium angustifolium**
(Dwarf) Blueberry	Vaccinium darrowii* or Vaccinium myrsinties*
Pink Muhley Grass	Muhlenbergia capillaris*
Purple Love Grass	Eragrostis sp.*
Rusty Lyonia	Lyonia ferruginea
Scrub Mint	Conradina canescens*
Silky Grass	Pityopsis graminifolia**
Spiderwort	Tradescantia ohiensis**
Woody Goldenrod	Chrysoma pauciflosculosa*
Yaupon Holly (Dwarf)	Ilex vomitoria var. Schillings or equiv.*

* in groups of no less than 7 plants **in groups of no less than 20 plants

ROW TYPE B PLANTS:

Atlantic St. John's Wort	Hypericum reductum*
Blazing Star	Liatriis sp.*
Blue-eyed Grass	Sisyrinchium angustifolium**
(Dwarf) Blueberry	Vaccinium darrowii* or Vaccinium myrsinties*
Fetterbush	Lyonia lucida
Pink Muhley Grass	Muhlenbergia capillaris*
Purple Love Grass	Eragrostis sp.*
Rusty Lyonia	Lyonia ferruginea
Scrub Mint	Conradina canescens*
Silky Grass	Pityopsis graminifolia**
Saw Palmetto	Serenoa Repens var. 'Green'*
Spiderwort	Tradescantia ohiensis**
Wax Myrtle (Dwarf)	Myrica cerifera var. 'Pumila' or equiv.*
Woody Goldenrod	Chrysoma pauciflosculosa*
Walter's Viburnum (Dwarf)	Viburnum obovatum var. "Nanum"
Yaupon Holly (Dwarf)	Ilex vomitoria var. 'Schillings' or equiv.*

* in groups of no less than 7 plants **in groups of no less than 20 plants

ROW TYPE C PLANTS:

All Type C plantings should have a row, 36" on center, of Pink Muhley Grass (*Muhlenbergia capillaris*) in the ROW along the road edge. The center of the row of the Muhley Grass should be planted 24" from the back of curb. The proposed plantings in the space between the rows of Muhley Grass and the sidewalk/path is to be selected from the following list:

Atlantic St. John's Wort	Hypericum reductum*
Blazing Star	Liatriis sp.*
Blue-eyed Grass	Sisyrinchium angustifolium**
(Dwarf) Blueberry	Vaccinium darrowii* or Vaccinium myrsinties*
Purple Love Grass	Eragrostis sp.*
Rusty Lyonia	Lyonia ferruginea
Saw Palmetto	Serenoa repens var. 'Green'•
Scrub Mint	Conradina canescens*
Silky Grass	Pityopsis graminifolia**
Spiderwort	Tradescantia ohiensis**
Woody Goldenrod	Chrysoma pauciflosculosa*
Yaupon Holly (Dwarf)	Ilex vomitoria var. Schillings or equiv.*

* in groups of no less than 7 plants **in groups of no less than 20 plants

Note—for lots with Type C ROW, plant one Coral Honeysuckle (*Lonicera sempervirens*) at every other post in Post and Rail and train on to the rail.

ROW TYPE D PLANTS:

Atlantic St. John's Wort	Hypericum reductum*
Blue-eyed Grass	Sisyrinchium angustifolium**
(Dwarf) Blueberry	Vaccinium darrowii*, Vaccinium myrsinties*
Fetterbush	Lyonia lucida
Rusty Lyonia	Lyonia ferruginea
Scrub Mint	Conradina canescens*
Silky Grass	Pityopsis graminifolia*
Saw Palmetto	Serenoa Repens var. 'Green'*
Spiderwort	Tradescantia ohiensis**
Wax Myrtle (Dwarf)	Myrica cerifera var. pumila or equiv.*
Woody Goldenrod	Chrysoma pauciflosculosa*
Yaupon Holly (Dwarf)	Ilex vomitoria var. Schillings or equiv.*

* in groups of no less than 7 plants **in groups of no less than 20 plants

Landscape Criteria and Requirements

ROW TYPE E PLANTS:

Atlantic St. John's Wort	Hypericum reductum*
Blazing Star	Liatris sp.*
(Dwarf) Blueberry	Vaccinium darrowii*, Vaccinium myrsinites*
Goldenrod	Solidago odora, stricta or rigida*
Pink Muhly Grass	Muhlenbergia capillaris*
Purple Love Grass	Eragrostis spectabilis*
Rusty Lyonia	Lyonia ferruginea
Scrub Mint	Conradina canescens*
Silky Grass	Pityopsis graminifolia**
Saw Palmetto	Serenoa Repens var. 'Green'*
Spiderwort	Tradescantia ohimensis**
Woody Goldenrod	Chrysoma pauciflosculosa*
Wire Grass	Aristida beyrinchiana*
Yucca	Yucca flaccida*

* in groups of no less than 7 plants **in groups of no less than 20 plants

ROW TYPE F PLANTS:

All Type F plantings should have a double row, 30" on center, of Green Saw Palmetto (*Serenoa Repens var. 'Green'*) in the ROW along the road edge. The first row of the Saw Palmetto should be planted 18" from the back of curb. The proposed plantings in the space between the rows of Saw Palmetto and the sidewalk/path is to be selected from the following list:

Atlantic St. John's Wort	Hypericum reductum*
Blazing Star	Liatris sp.*
Blue-eyed Grass	Sisyrinchium angustifolium**
(Dwarf) Blueberry	Vaccinium darrowii*, Vaccinium myrsinites*
Goldenrod	Solidago odora, stricta, or rigida*
Pink Muhly Grass	Muhlenbergia capillaris*
Purple Love Grass	Eragrostis spectabilis*
Rusty Lyonia	Lyonia ferruginea
Scrub Mint	Conradina canescens*
Silky Grass	Pityopsis graminifolia**
Saw Palmetto	Serenoa Repens var. 'Green'*
Spiderwort	Tradescantia ohimensis**
Woody Goldenrod	Chrysoma pauciflosculosa*
Yucca	Yucca flaccida*

* in groups of no less than 7 plants **in groups of no less than 20 plants

ROW TYPE G PLANTS:

All Type G plantings should have a triple row, 12" or 18" on center, of Silky Grass (*Pityopsis graminifolia*) in the ROW along the road edge. The first row to be 12" from the back of the road curb. The proposed plantings in the space between the rows of Silky Grass and the sidewalk/path is to be selected from the following list:

Atlantic St. John's Wort	Hypericum reductum*
Blue-eyed Grass	Sisyrinchium angustifolium**
(Dwarf) Blueberry	Vaccinium darrowii*, Vaccinium myrsinites*
Fetterbush	Lyonia lucida
Purple Love Grass	Eragrostis spectabilis*
Rusty Lyonia	Lyonia ferruginea
Scrub Mint	Conradina canescens*
Saw Palmetto	Serenoa Repens var. 'Green'*
Spiderwort	Tradescantia ohimensis**
Wax Myrtle (Dwarf)	Myrica cerifera var. pumila or equiv.*
Woody Goldenrod	Chrysoma pauciflosculosa*
Yaupon Holly (Dwarf)	Ilex vomitoria var. Schillings or equiv.*
Yucca	Yucca flaccida*

*in groups of no less than 7 plants **in groups of no less than 20 plants

Note—for lots with Type G ROW, plant one Confederate Jasmine (*Trachelosperum jasminoides*) at every other post in Post and Rail and train on to the rail.

ROW TYPE H PLANTS:

All Type H plantings should have a triple row, 12" on center, of Blue-Eyed Grass (*Sisyrinchium angustifolium*) in the ROW along the road edge. The first row to be 9" from the back of the road curb. The proposed plantings in the space between the rows of Silky Grass and the sidewalk/path is to be selected from the following list:

Atlantic St. John's Wort	Hypericum reductum*
(Dwarf) Blueberry	Vaccinium darrowii*, Vaccinium myrsinites*
Fetterbush	Lyonia lucida
Purple Love Grass	Eragrostis spectabilis*
Rusty Lyonia	Lyonia ferruginea
Scrub Mint	Conradina canescens*
Saw Palmetto	Serenoa Repens var. 'Green'*
Silky Grass	Pityopsis graminifolia**
Spiderwort	Tradescantia ohimensis**
Wax Myrtle (Dwarf)	Myrica cerifera var. pumila or equiv.*
Woody Goldenrod	Chrysoma pauciflosculosa*
Yaupon Holly (Dwarf)	Ilex vomitoria var. Schillings or equiv.*

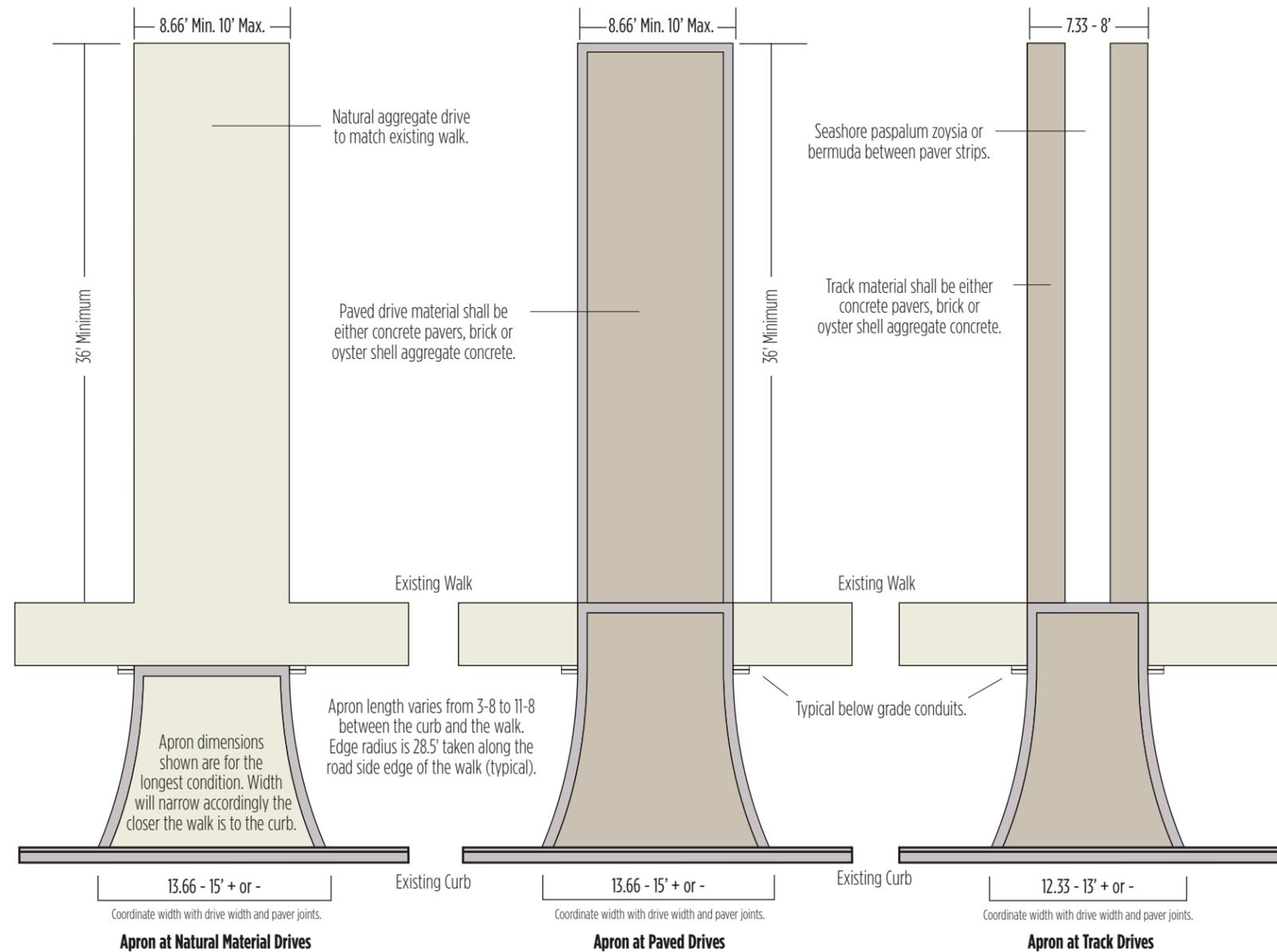
*in groups of no less than 7 plants **in groups of no less than 20 plants

Note—for lots with Type H ROW, plant one Coral Honeysuckle (*Lonicera sempervirens*) at every other post in Post and Rail and train on to the rail.

Landscape Criteria and Requirements

DRIVEWAYS

Houses with front loaded drives shall all install a uniform apron from the curb to the walk or property line as shown. The apron is to be designed and constructed with a restrained concrete paver border and a concrete paver field. Pavers are to match the WaterColor blend. Borders are to match the existing paver adjacent to the curb. The field pattern can be running bond, herringbone or another approved design. All joints shall be coordinated and shown in plan along with the method of edge restraint. Each drive shall have two 2" PVC conduits below grade capped for future use adjacent to the road side edge of the walk in order to alleviate the need to demolish and reconstruct the drives when additional utilities are installed.



Design Review

This section describes the procedure to achieve a house design that is approved for construction in WaterColor. The process has been refined to provide the property Owner and the retained Architect with an efficient method for the successful development of their property. The completed house shall be certified by the Architect to have been constructed in strict accordance with the approved construction documents. Terms used within this section include:

APPLICANT: Property owner seeking to build or modify his property

DECLARANT: St. Joe or its assignee

ARCHITECTURAL CONSULTANT: Tim Reese, Phone: (850) 225-6711
Email: drb@gnt.net

REVIEWER: The WaterColor Design Review Board (DRB)

DRB ADMINISTRATOR: WaterColor Community Association, Inc.

SEND ALL SUBMISSIONS TO:

WaterColor HomeOwner's Association
Attn: Kim Visser
Design Review Board Coordinator
2071 South County Hwy 395
Santa Rosa Beach, FL 32459

Phone : 850-231-7132
Fax: 850-231-7131
Email: kim_visser@arvida.com

THE PROCESS:

1. Select a Florida Registered Architect and Landscape Architect from the Lists of Architects. Registered Architects other than those listed by the Declarant may only be employed after the Reviewer issues an approval letter affirming the proposed Architect's Application to design in WaterColor.
2. Prior to any submission, an initial meeting must be held between the Applicant's Architect and the Architectural Consultant. This meeting will seek to clarify the WaterColor design philosophy and design guidelines, the specific lot criteria and the review procedures in order to promote communication, reduce the time needed for approval and to maximize the potential to efficiently utilize the Owner's resources.

REVIEW SUBMISSIONS

1. The applicant shall submit a schematic architectural design (one set) to the Administrator of the Architectural Design Review Board. The Consultant will then determine the suitability of their WaterColor house. Preliminary

plans shall include, but are not limited to:

a. Design Review Application

b. Site plan at 1:20 minimum showing all trees with a caliper greater than four inches (4") at a height greater than 4 feet (4') above grade, all grades, horizontal and vertical improvements with pertinent dimensions, setbacks, easements, parking, etcetera

c. Floor plans at 1/4 inch scale with appropriate notes and dimensions.

d. All exterior elevations at 1/4 inch scale to completely define wall materials, windows, doors, trim, columns, finish floor(s) elevation(s), ceiling elevation(s), roof plate elevation, roof slope(s), roof materials etcetera.

e. Non-refundable Application (Administration) fee made payable to WaterColor or its assign:

Architectural Review Fee	\$1200.00
Modifications to Existing Structures/Grounds	\$250.00
Additional Outbuilding Improvement	\$500.00

2. Incomplete submissions will not be reviewed. Upon acceptance, the Architectural Consultant will assist the Architect in order to produce documents that will be submitted to the Reviewer for approval.

APPLICATION REVIEW

1. As the plan progresses, the Consultant and the Developer's Landscape Architect will perform the initial and subsequent reviews and provide reports to the owner and the relevant professionals. The exchange between the Architect, the Consultant and the Landscape Architect will continue until the Consultant certifies that the submission is complete and ready for the Design Review Board's consideration. The DRB will only review submissions that have been certified by the Consultant.
2. In order to provide a fair and efficient review of all submissions, all required materials for a final review must be received by the DRB Administrator one (1) week (5 working days) prior to the scheduled DRB meeting.

FINAL REVIEW SUBMISSION

1. Submit one (1) set of architectural drawings and specifications, dated, signed and sealed by the approved design professionals. The construction documents shall be complete and detailed so that all significant aspects of the construction are clearly identified and can be readily understood by construction professionals. The drawings shall all be a uniform size and they shall be bound in one set.

2. Once the design is approved by the DRB, the letter required by Walton County to initiate the permit application is contingent on the receipt of:

a. One set of construction documents that is dated, signed and sealed and is identical to the DRB reviewed plans and is also identical to the sealed construction documents that will be submitted for a Walton County Building Department permit.

b. Two sets of construction documents reduced to 11x17.

c. Payment of the refundable Compliance Deposit.

d. Payment of the non-refundable Construction Management Fee.

3. At a minimum, a uniform set of dimensioned and noted drawings shall include:

a. Title Sheet

1. Project Name, Location, and Lot Number
2. Architect and professional consultant's identifications
3. Index of Drawings
4. Date

b. A signed and sealed Certified Site Survey

c. Dimensioned Site Plans: Scale in size appropriate to show detail but not less than 1" = 20' 0", indicating:

1. Access street(s) and walkway(s), drives and other exterior improvements, including material and color
2. Parking depicting the correct number of on property parking spaces for the size of the house
3. Grading plan
4. Fill plan, if any (indicating run-off and tree preservation method)
5. Exterior lighting plan (key specification sheets to their locations)
6. Utility services, water, power, telephone, cable, gas; show all existing service pedestals
7. Tree survey showing location and species of trees four inches (4") or larger in diameter at a point four feet (4') above ground
8. Dimensioned building plan to scale, overlaid on tree survey indicating all structures and other improvements to be included in the scheme with an indication of trees to remain and trees to be removed (at the same scale as boundary/tree survey)
9. Location and identification of any special features
10. Mechanical equipment showing location and screening details
11. Location of contractor ID sign, outdoor toilet facility and dumpster also showing the size and color.
12. Location of the standard WaterColor address post

Design Review

- d. Floor Plans: 1/4 inch minimum scale drawings with an exact square footage (SF) computation for each floor showing conditioned and non-conditioned areas separately along with finished floor elevations.
- e. Roof Plan: 1/8th inch minimum scale drawing showing materials, slopes, flashings and penetrations
- f. Structural Plans: 1/4 inch minimum scale drawings showing all foundation plans, framing plans and details. Identify all exposed structural connections.
- g. Exterior Elevations: 1/4 inch minimum scale drawings of the building and any accessory structures showing all sides, including any hidden views.
 - 1. Existing and finished grades
 - 2. Floor to Ceiling and Floor to Floor dimensions
 - 3. Exterior materials, door and window identification
 - 4. Roof Plate elevation and overall height
 - 5. Roof slopes and eave overhang dimension
 - 6. All exposed mechanical and electrical equipment, fixtures, vents etcetera. Note: All visible MEP components shall be shown on the Site Plan, Floor Plan(s) and matching Exterior Elevations.
 - 7. Exterior equipment screening
- h. Typical Wall and Building Sections: Provide a sufficient number of Sections to show all exterior conditions at a large legible scale depicting:
 - 1. Exterior materials
 - 2. Porch construction
 - 3. Roof and eave construction
 - 4. Cupola or Tower construction if applicable
 - 5. Any exposed structural connections
- i. Details: Provide a sufficient number of details to show all exterior conditions at a large scale depicting:
 - 1. Design features and other conditions requiring clarification
 - 2. Porch assembly from foundation to eave
 - 3. Eave, fascia and trim details
 - 4. Doors and windows - manufacturer's specification sheet(s) including model and color with all jamb, head and sill conditions
 - 5. Garage doors - manufacturer's specification sheet including model and color with all jamb, head and sill conditions
 - 6. Chimney and chimney cap construction
 - 7. Guardrails and handrails
 - 8. Shutter dimensions and hardware specifications
 - 9. Foundation screens and louvers
 - 10. Patios, decks, balconies, brackets, verandas, site structures etcetera

- j. Exterior Colors: In addition to the completed color application submit:
 - 1. An 8.5" X 11" page containing exterior color sample cards
 - 2. A color sample of the window and/or door manufacturer's material. Provide the actual material. Color cards or photocopies will not be accepted
 - 3. Any paver, chimney or other exterior material samples
- k. Landscape Plans: At the scale of site plan, showing:
 - 1. Boundary: Indicate all perimeter property lines, setbacks, dedicated easements and the north arrow
 - 2. Structures: Position all structures on the property and indicate the location of all windows, doors and permanent construction elements, which are proposed
 - 3. Perimeter Areas: Reflect all adjacent site conditions and surrounding roadways, lakes and pertinent features, which may affect the subject property
 - 4. Hardscape: Indicate all proposed vehicular and pedestrian circulation treatments, miscellaneous amenity elements, garden features and permanent site furnishings, which may affect the use of the site
 - 5. Utility elements: Show all air conditioner equipment locations, exposed utility meters, garbage areas, LP gas tank, pool equipment and any service or utility elements which may require landscape treatment or buffer screening
 - 6. Grading: Indicate existing grades and all proposed grading revisions at one-foot (1') intervals
 - 7. Existing Vegetation: Based upon a current tree survey, accurately identify and locate all existing vegetation with a caliper of four inches (4") or greater, which is intended to be removed, remain or be relocated on the site
 - 8. Proposed Vegetation: Provide a comprehensive landscape layout for all trees, palms, shrubs, ground covers, vines etcetera proposed throughout the site
 - 9. Street tree, hedge and/or post and rail locations.
 - 10. Plant List: Identify all proposed vegetation with a plant list that reflects the scientific and accepted common name, height, spread, caliper, or size at time of installation as well as any necessary remarks which may be required to clearly portray the technical needs for design review, and/or final installation purposes
 - 11. Address Identification: Location of the standard WaterColor post and numbered plaque

BUILDER SELECTION

- 1. Select a Licensed Contractor from the WaterColor List of Contractors. A Contractor, who is not listed by the Declarant may be employed by applying to and gaining admittance from the Reviewer.

CONTRACTOR STANDARDS AND PERFORMANCE

- 1. WaterColor is a residential community conceived to harmonize with its environment and offer its residents and guests a relaxing retreat. The Standards described in the WaterColor Community Association Documents should be understood and discussed with your builder. Strict compliance is expected. These standards are not meant to unduly impede the construction process but are intended to allow the process of construction and habitation to coexist.

STAKEOUT

- 1. Concurrent with the final submission, the owner or contractor will provide a string stakeout of the lot lines and building lines for inspection by the Reviewer. All trees to be removed must be clearly indicated.

COMPLIANCE DEPOSIT

- 1. Prior to receipt of the DRB approval letter, each owner submitting plans and specifications for a proposed improvement shall place in escrow with the WaterColor Home Owner's Association a sum of money, which shall be a compliance deposit. These funds shall be held in a non-interest bearing account.

The amount of the compliance deposit shall be computed as follows:

- (a) Existing structures or grounds: Minimum deposit of One Thousand Dollars (\$1000) shall be required, but in no event shall the compliance deposit exceed ten percent (10%) of the cost of the proposed improvement or Two Thousand Five Hundred Dollars (\$2500).
- (b) New Construction: Minimum deposit of Two Thousand Five Hundred Dollars (\$2500) shall be required.

CONSTRUCTION MANAGEMENT FEE

- 1. Prior to receipt of the DRB approval letter, each owner submitting plans and specifications for a proposed improvement shall submit to Grand Shores a non-refundable construction management fee of \$750.00.

BUILDING PERMIT

- 1. Upon approval by the Reviewer and receipt of all fees, and upon issuance of a Letter of Final Approval by the Design Review Board Administrator, the owner may submit to Walton County and any other applicable government agencies for a building permit.

Design Review

START of CONSTRUCTION

1. Upon receiving the DRB's intent to issue a Letter of Final Approval, the Contractor shall arrange a pre-clearing conference at the lot with the Administrator to review the stakeout along with clearing and construction procedures. Once the site conference is accomplished and all fees are paid, the Letter of Final Approval will be issued. The Owner and/or Contractor may then apply to The Walton County Building Department for a permit. Upon receipt of the permit, the Contractor may start construction. The Reviewer reserves the right to field inspect for compliance during any stage of the construction.

FINAL APPROVAL

1. Upon completion of construction and before applying for a Walton County Certificate of Occupancy, submit the following to the DRB Administrator:
 - a. Final survey certificate sealed by the surveyor
 - b. As-built set of drawings showing hidden utility conditions and any approved modification(s) to the approved documents
 - c. Certificate of Construction Compliance Sealed by the Architect
2. Upon inspection by the Reviewer that all improvements have been constructed in accordance with the plans approved by the DRB, the Reviewer will issue a Certificate of Process Completion. **No residence within WaterColor may be occupied by any person until the Reviewer issues a Certificate of Process Completion.** Upon issuance of this Certificate, the Reviewer will refund the Compliance Deposit commensurate with the construction compliance.
3. Presentation of the Certificate of Process Completion to the Building Department within the Growth Management Division of Walton County is necessary to acquire a Walton County Certificate of Occupancy.

All plans, dimensions, improvements, amenities, features, uses, specifications, materials and availability depicted herein are subject to change without notice. Illustrations are artist's depictions only and may differ from completed improvements.

These architectural guidelines are not intended to be a complete list of all criteria that must be satisfied in connection with construction of improvements. Compliance with these architectural guidelines does not assure approval of any particular designs. The Developer reserves the right to approve particular designs which vary from or otherwise do not comply with these architectural guidelines.

These architectural guidelines are a mechanism for maintaining and enhancing the overall aesthetics of WaterColor; they do not create any duty to any person. Review and approval of any design may be based on aesthetic considerations only. The Developer shall not bear any responsibility for ensuring the structural integrity or soundness of approved construction or modifications, for ensuring

compliance with building codes and other governmental requirements, or for ensuring that every structure is of comparable quality, value, or size, of similar design, or aesthetically pleasing or otherwise acceptable to other owners of property in the WaterColor community. The Developer makes no warranty, express or implied, that the information or guidelines contained herein are suitable for any particular use, and hereby disclaims any liability in connection with the use of this information.

“St. Joe”, “WaterColor” and the “Taking Flight” designs are service marks of The St. Joe Company. The Developer does not guarantee the obligations of unaffiliated builders who may build and sell homes in the WaterColor community. Ownership of a residence in the WaterColor community does not grant any use of or access to any privately owned amenities in the WaterColor community or those owned by the Developer or its affiliates outside the WaterColor community.

